



Building Inspection Department

Jason Dool
Chief Building Inspector

Lockport Municipal Building
One Locks Plaza
Lockport, NY 14094
Phone (716) 439-6759
Fax (716) 439-6605

October 14, 2025

Megan Brewer

AGENDA

Please be advised that there are three (3) items on the agenda for the regularly scheduled Zoning Board of Appeals Meeting, Tuesday, October 28, 2025, at 5:00 P.M.

1. Jon George. 999 Niagara Street. Request to erect a single family home on the newly subdivided two acre parcel and to utilize any permitted accessory use in a Low Density Residential Zone situated in an Open Space Zone. (Use-single-family home, Use-accessory uses of LDR)
2. Paul & Sue Wendt. 1265 West Jackson Street. Request to erect a 50' x 80' x 25' pole barn situated in an Open Space Zone. (Area-pole barn 25' in height)
3. Suzanne Trombitas. 16 Lakeview Parkway. Request to demolish the existing detached garage and erect a 16' x 24' detached garage situated in a Low Density Residential Zone. (Area-lot coverage 24.1%, Area-garage located 3' from west line)



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NOTICE OF PUBLIC HEARING

Case No. 2360

October 14, 2025

Megan Brewer

Dear Sir or Madam:

An Appeal under the Zoning Ordinance as applied to the property at 999 Niagara Street, New York, had been filed by Jon George.

The request is for a variance to erect a single family home on the newly subdivided two acre parcel and to utilize any permitted accessory use in a Low Density Residential Zone situated in an Open Space Zone.

Approval of the permit application was denied or withheld because Low Density Residential uses are not permitted in Open Space zones.

The City of Lockport Zoning Ordinance allows parks/playgrounds, agricultural operations, botanical gardens, arboretum conservatory, cemeteries, municipal uses and structures, natural wildlife or open space area and already existing single-family dwellings as permitted uses in an OZ Zone and accessory structure or use, outdoor assembly or seating areas and solar energy uses as accessory uses in an Open Space Zone.

A Public Hearing will be held by the Zoning Board of Appeals on **Tuesday, October 28, 2025 at 5:00 P.M.**, at the Lockport Municipal Building, One Locks Plaza, Lockport, New York, at which time you may appear, if you so desire, either in person or by agent or attorney.

The purpose of this Hearing is to give all affected property owners an opportunity to support or oppose the granting of this Appeal.

Supporting documentation for this case may be found on the City of Lockport website lockportny.gov.

LOCKPORT ZONING BOARD OF APPEALS
Megan Brewer



BRIEF HISTORY OF PROPERTY (historic use of property, ownership history, etc.)

Been in family for 50+ years.
VACANT

DESCRIPTION OF PROPOSED ACTION (include specific use proposed, hours, # of employees, etc.)

To build a ~~single~~ ~~lot~~ single family home on the newly created 2 acre parcel and to utilize any permitted accessory use in a low density residential zone.

VARIANCE STANDARDS (USE VARIANCE)

Applications for use variances must be based on alleviating a clearly demonstrable hardship, as opposed to a special privilege of convenience sought by the owner. Furthermore, the hardship must be peculiar to the land or building and must not generally apply to land throughout the neighborhood. An example of a property that may potentially have a case for a used variance is a corner store in a predominantly residential neighborhood. If the building has large plate glass windows, a parking lot and loading docks in the rear, it would be extremely costly to convert the building to residential uses to comply with existing zoning regulations.

VARIANCE STANDARDS (AREA VARIANCE)

Applications for area variances must be based on some extraordinary topographic condition or other physical condition inherent in the parcel (for example: exceptional narrowness, shallowness, shape or area). This condition must prohibit or unreasonably restrict the use of the land and/or building. One example of special condition: A utility right-of-way cutting through the rear half of several properties within a larger neighborhood limiting the buildable area of those properties, thereby requiring variances for rear and side yard setbacks for those particular property owners to construct new garages or sheds.

DESCRIPTION OF HARDSHIP (describe the features or conditions of the property that restrict reasonable use of the property under current zoning regulations)

Area is predominantly single family homes and it was over locked when the city adopted new zoning ordinance.

Describe how the requested variance will not alter the character of the larger neighborhood or impact adjacent properties:

It already has single family homes in area.

APPLICATION ATTACHMENTS

To ensure appropriate and timely review of the application, please provide the following additional documentation in support of the application. Failure to provide all of the applicable materials listed below may result in a delay in scheduling the application for review by the Zoning Board of Appeals.

- \$150 application fee (cash or checks payable to the City of Lockport)
- Detailed site plan (10 copies)
- Photographs of existing conditions
- Property survey (10 copies)

APPLICANT/OWNER AFFIRMATION

I, THE UNDERSIGNED, DO HEREBY AFFIRM THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE AND I FURTHER UNDERSTAND THAT INTENTIONALLY PROVIDING FALSE OR MISLEADING INFORMATION IS GROUNDS FOR IMMEDIATE DENIAL OF MY APPLICATION.

FURTHERMORE, I UNDERSTAND THAT I (OR A DESIGNATED REPRESENTATIVE) MUST BE PRESENT AT THE MEETING TO REPRESENT THE APPLICATION AND RESPOND TO ANY QUESTIONS FROM THE ZONING BOARD OF APPEALS MEMBERS.



Signature (Applicant)

10-8-25

Date

IF APPLICANT IS NOT THE OWNER OF RECORD FOR SUBJECT PARCEL:

I, THE UNDERSIGNED, HEREBY AFFIRM THAT I AM THE OWNER OF RECORD FOR THE SUBJECT PARCEL AT THE TIME OF APPLICATION. FURTHERMORE, I AM FAMILIAR WITH THE REQUEST BY THE APPLICANT AND AUTHORIZE SAID APPLICANT TO REPRESENT THE INTEREST OF THE OWNER (S) IN FURTHERANCE OF THE REQUEST.

Signature (Owner)

Date

Regular meetings of the Zoning Board of Appeals are generally held on the 4th Tuesday of every month. The meetings are held at 5:00 P.M. in the Common Council chambers on the first floor of City Hall. Applicants will receive a reminder notice in the mail prior to the meeting.

Pursuant to Section §190-188(d) of the City of Lockport Zoning Ordinance, property owners within a 200' radius will be notified of the intent of the applicant and given an opportunity to speak for or against the application.

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map): 999 1200 NIAGARA Street			
Brief Description of Proposed Action: Build Single Family home			
Name of Applicant or Sponsor: Jon George			
Address: 999 NIAGARA Street			
City/PO: Lockport	State: NY	Zip Code: 14094	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <u>building permit</u>		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		2 acres	
b. Total acreage to be physically disturbed?		less than 1 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		2 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input checked="" type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			
			NO	YES
			<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?			NO	YES
If Yes, identify: _____			<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	9. Does the proposed action meet or exceed the state energy code requirements?			
If the proposed action will exceed requirements, describe design features and technologies: _____ _____			NO	YES
			<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply?			NO	YES
If No, describe method for providing potable water: _____ _____			<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities?			NO	YES
If No, describe method for providing wastewater treatment: _____ _____			<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?			NO	YES
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?			<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14 Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15 Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16 Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17 Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19 Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Jan George</u> Date: <u>10-8-25</u> Signature:  Title: _____		



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NOTICE OF PUBLIC HEARING

Case No. 2361

October 14, 2025

Megan Brewer

Dear Sir or Madam:

An Appeal under the Zoning Ordinance as applied to the property at 1265 West Jackson Street, New York, had been filed by Paul & Sue Wendt.

The request is for a variance to erect a 50' x 80' x 25' pole barn situated in an Open Space Zone.

Approval of the permit application was denied or withheld because the pole barn will exceed 20' in height.

The City of Lockport Zoning Ordinance allows a maximum 20' height for accessory structures that can maintain at least twice the minimum side and rear setbacks of the district in which it is located.

A Public Hearing will be held by the Zoning Board of Appeals on **Tuesday, October 28, 2025 at 5:00 P.M.**, at the Lockport Municipal Building, One Locks Plaza, Lockport, New York, at which time you may appear, if you so desire, either in person or by agent or attorney.

The purpose of this Hearing is to give all affected property owners an opportunity to support or oppose the granting of this Appeal.

Supporting documentation for this case may be found on the City of Lockport website lockportny.gov.

LOCKPORT ZONING BOARD OF APPEALS
Megan Brewer

BRIEF HISTORY OF PROPERTY (historic use of property, ownership history, etc.)

Sue + I purchased the property in the spring of 2025 to build our retirement home. Planning on building a 2200ft² home w/ a 4000 sqft pole barn (50x80) for personal use. No commercial business!!

DESCRIPTION OF PROPOSED ACTION (include specific use proposed, hours, # of employees, etc.)

would like to erect a 50' x 80' pole barn for personal use, wanting to put a 14' high garage door in the middle of the nearside to allow access to park a RV in the pole barn. With that being said the peak could be ~~25~~ 25' high. Pole barn will be a minimum of 50'-60' from any lotline.

VARIANCE STANDARDS (USE VARIANCE)

Applications for use variances must be based on alleviating a clearly demonstrable hardship, as opposed to a special privilege of convenience sought by the owner. Furthermore, the hardship must be peculiar to the land or building and must not generally apply to land throughout the neighborhood. An example of a property that may potentially have a case for a used variance is a corner store in a predominantly residential neighborhood. If the building has large plate glass windows, a parking lot and loading docks in the rear, it would be extremely costly to convert the building to residential uses to comply with existing zoning regulations.



VARIANCE STANDARDS (AREA VARIANCE)

Applications for area variances must be based on some extraordinary topographic condition or other physical condition inherent in the parcel (for example: exceptional narrowness, shallowness, shape or area). This condition must prohibit or unreasonably restrict the use of the land and/or building. One example of special condition: A utility right-of-way cutting through the rear half of several properties within a larger neighborhood limiting the buildable area of those properties, thereby requiring variances for rear and side yard setbacks for those particular property owners to construct new garages or sheds.

DESCRIPTION OF HARDSHIP (describe the features or conditions of the property that restrict reasonable use of the property under current zoning regulations)

Newly adopted building codes w/ distance from lot line states the building/pole barn can only be 18' high, would like to build a 50' x 80' pole barn w/ a peak height of no more than 25', allowing for the installation of a 14' door in the center for personal R.V. storage

Describe how the requested variance will not alter the character of the larger neighborhood or impact adjacent properties:

This variance will not impact the area neighbors @ all. When the trees grow in it won't be seen from the road, and both adjoining neighbors will not be able to see the house or pole barn as it is proposed, also the next neighbor, Nick Buffon told me today that he is behind me getting the variance

APPLICATION ATTACHMENTS

To ensure appropriate and timely review of the application, please provide the following additional documentation in support of the application. Failure to provide all of the applicable materials listed below may result in a delay in scheduling the application for review by the Zoning Board of Appeals.

- ___ \$150 application fee (cash or checks payable to the City of Lockport)
- ___ Detailed site plan (10 copies)
- ___ Photographs of existing conditions
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APPLICANT/OWNER AFFIRMATION

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FURTHERMORE, I UNDERSTAND THAT I (OR A DESIGNATED REPRESENTATIVE) MUST BE PRESENT AT THE MEETING TO REPRESENT THE APPLICATION AND RESPOND TO ANY QUESTIONS FROM THE ZONING BOARD OF APPEALS MEMBERS.

Powerweron
Signature (Applicant)

10/7/25
Date

IF APPLICANT IS NOT THE OWNER OF RECORD FOR SUBJECT PARCEL:

I, THE UNDERSIGNED, HEREBY AFFIRM THAT I AM THE OWNER OF RECORD FOR THE SUBJECT PARCEL AT THE TIME OF APPLICATION. FURTHERMORE, I AM FAMILIAR WITH THE REQUEST BY THE APPLICANT AND AUTHORIZE SAID APPLICANT TO REPRESENT THE INTEREST OF THE OWNER (S) IN FURTHERANCE OF THE REQUEST.

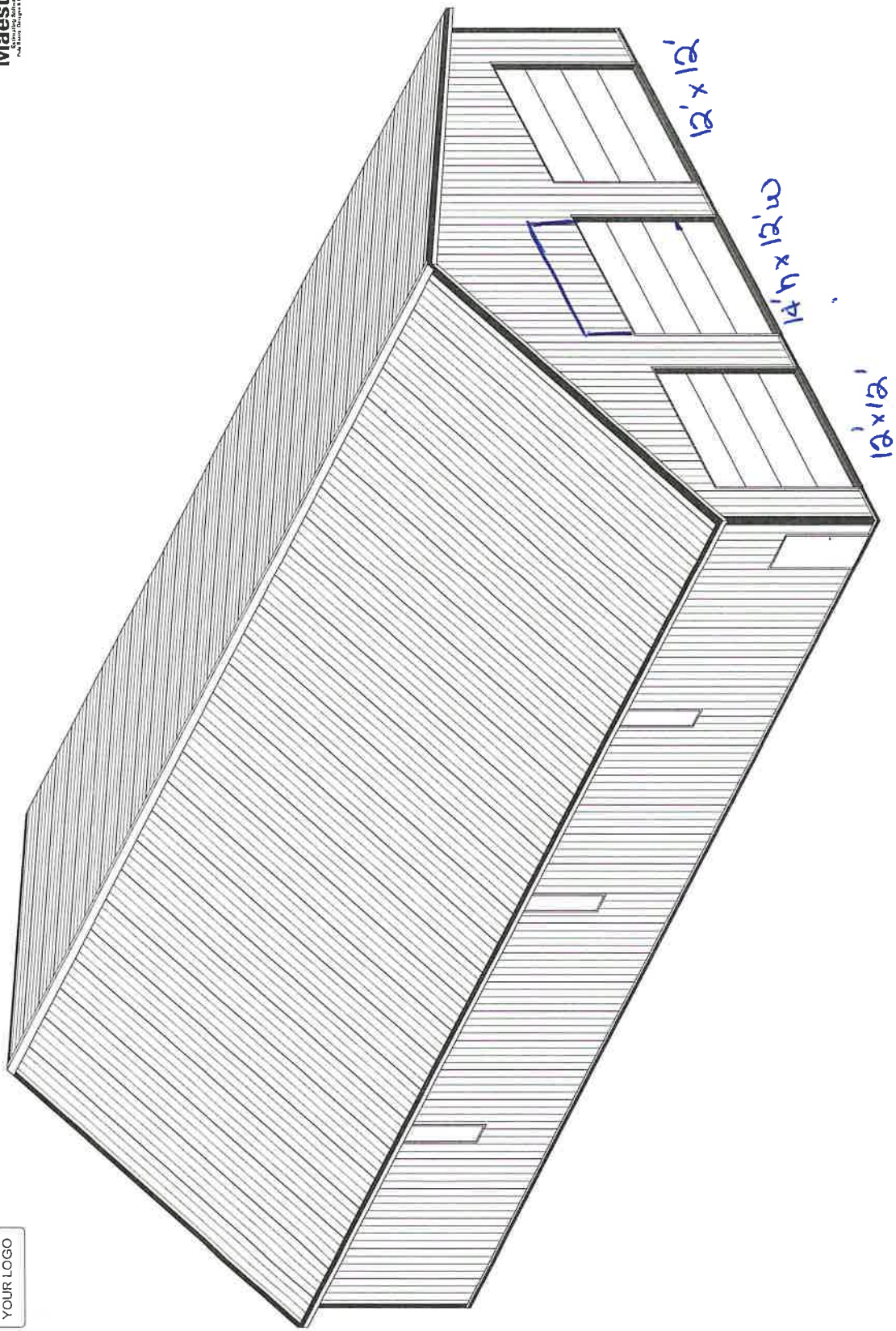
Signature (Owner)

Date

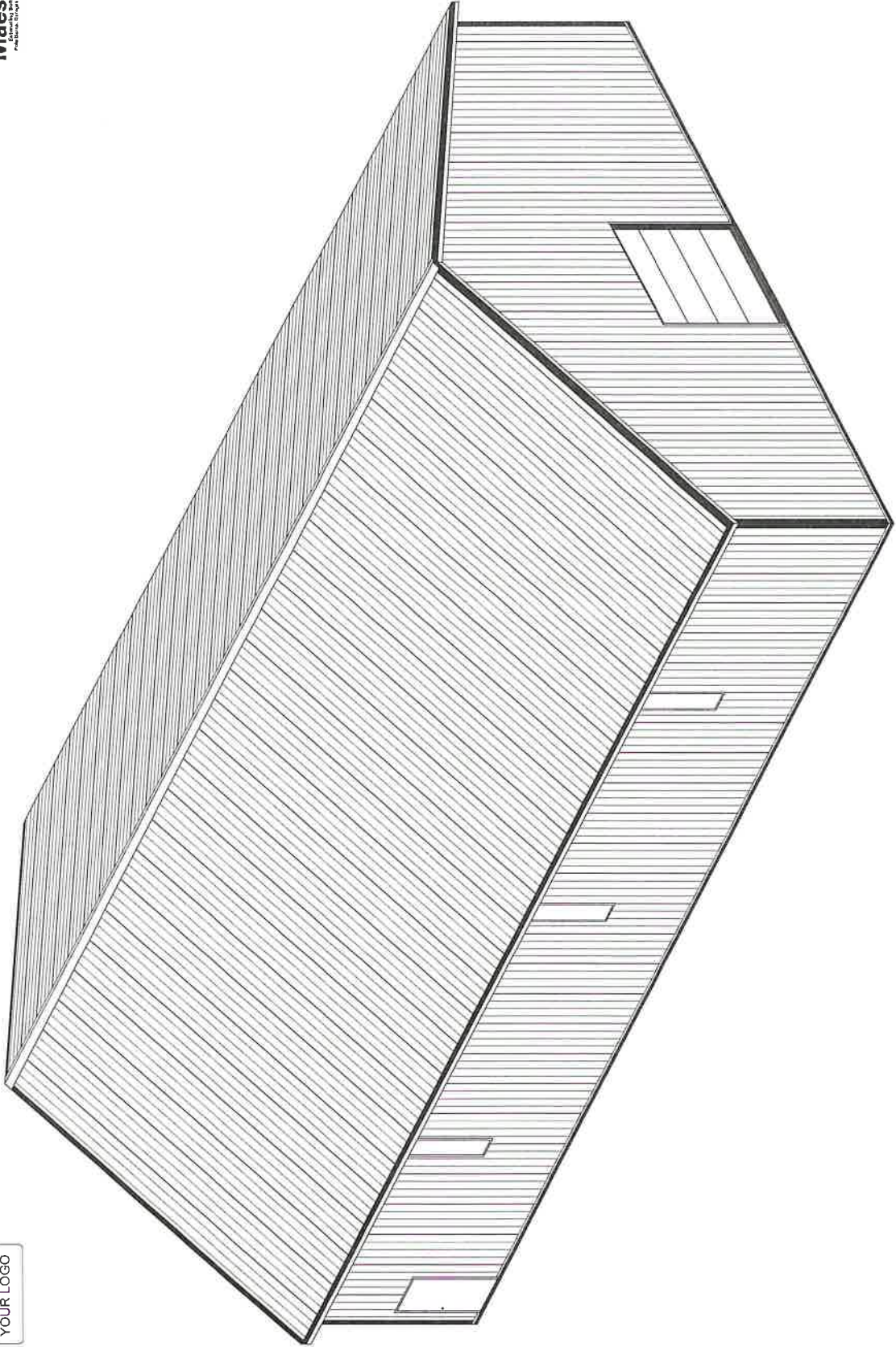
Regular meetings of the Zoning Board of Appeals are generally held on the 4th Tuesday of every month. The meetings are held at 5:00 P.M. in the Common Council chambers on the first floor of City Hall. Applicants will receive a reminder notice in the mail prior to the meeting.

Pursuant to Section §190-188(d) of the City of Lockport Zoning Ordinance, property owners within a 200' radius will be notified of the intent of the applicant and given an opportunity to speak for or against the application.

YOUR LOGO

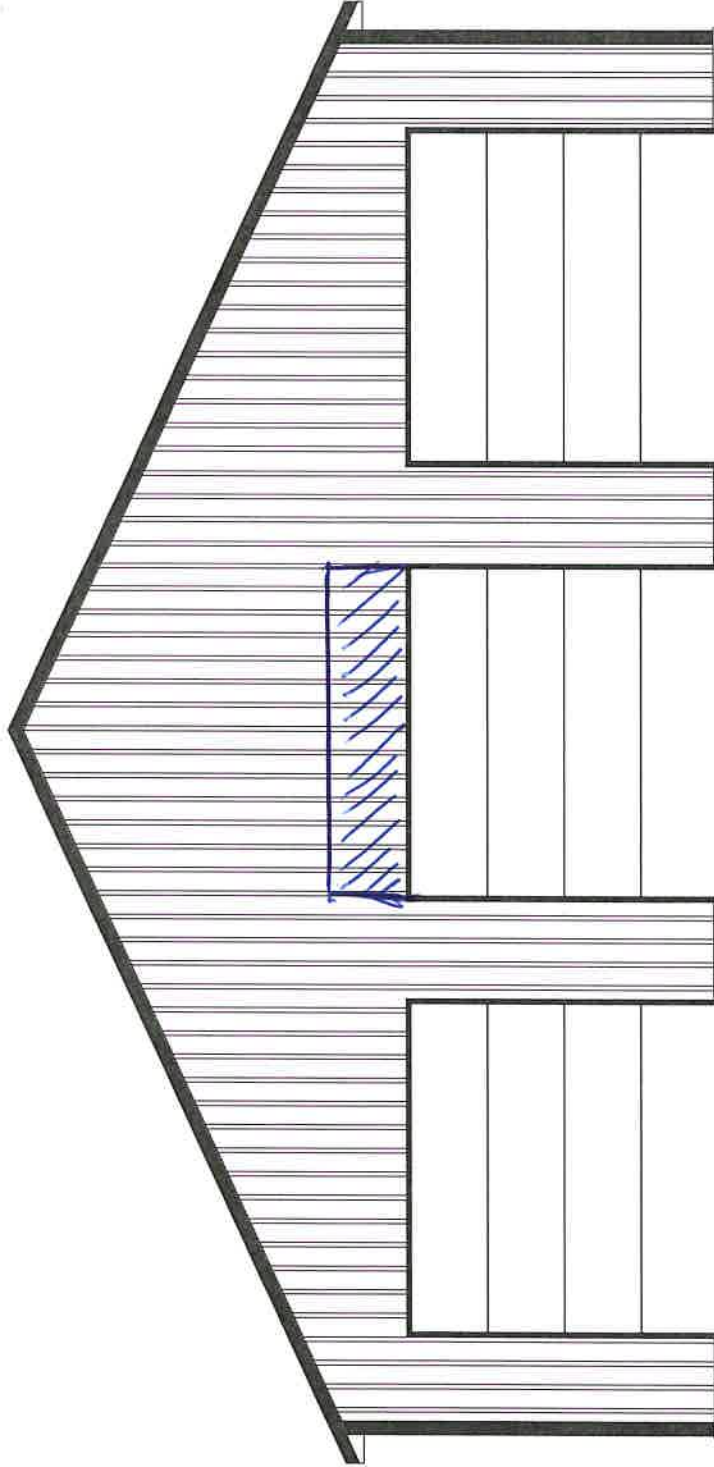


YOUR LOGO



YOUR LOGO

NORTH SIDE-GABLE SIDE 1 ELEVATION



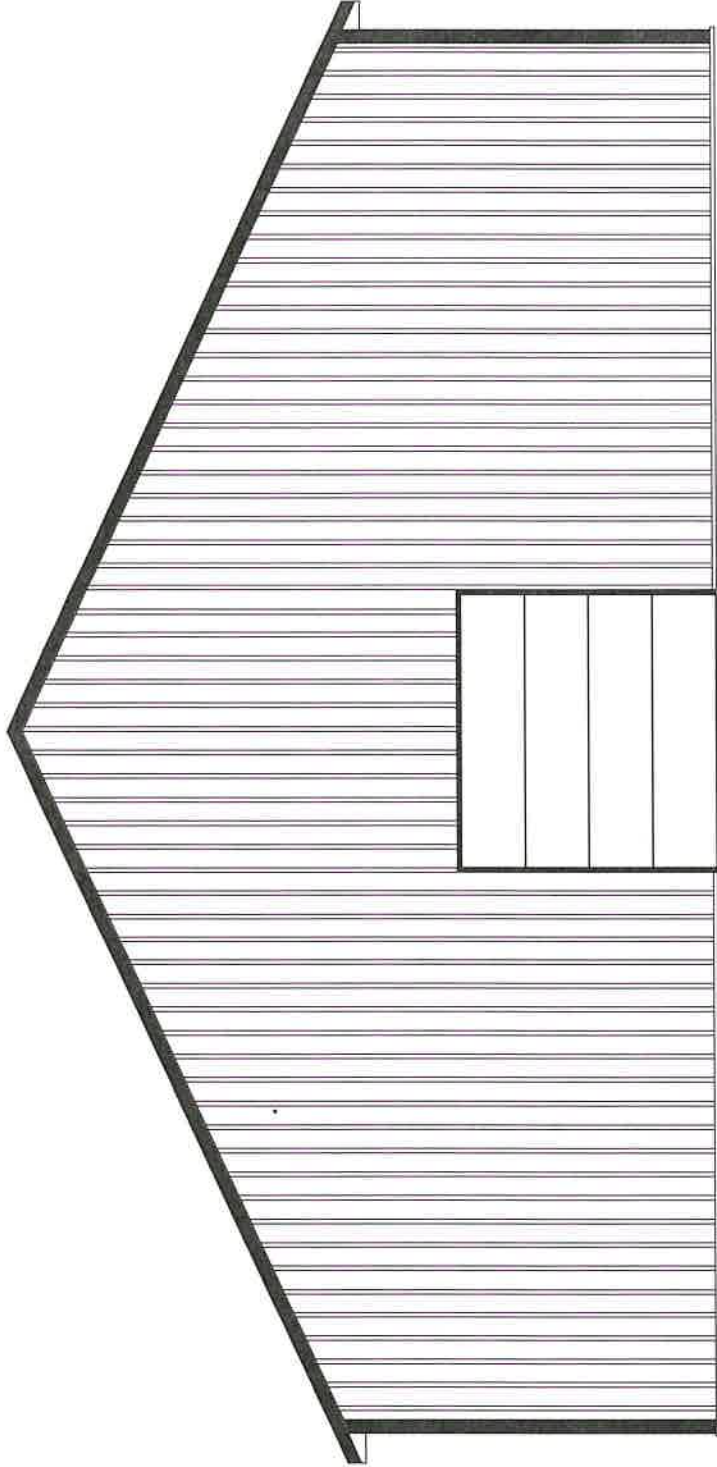
12' x 12'

14'h x 12' w

12' x 12'

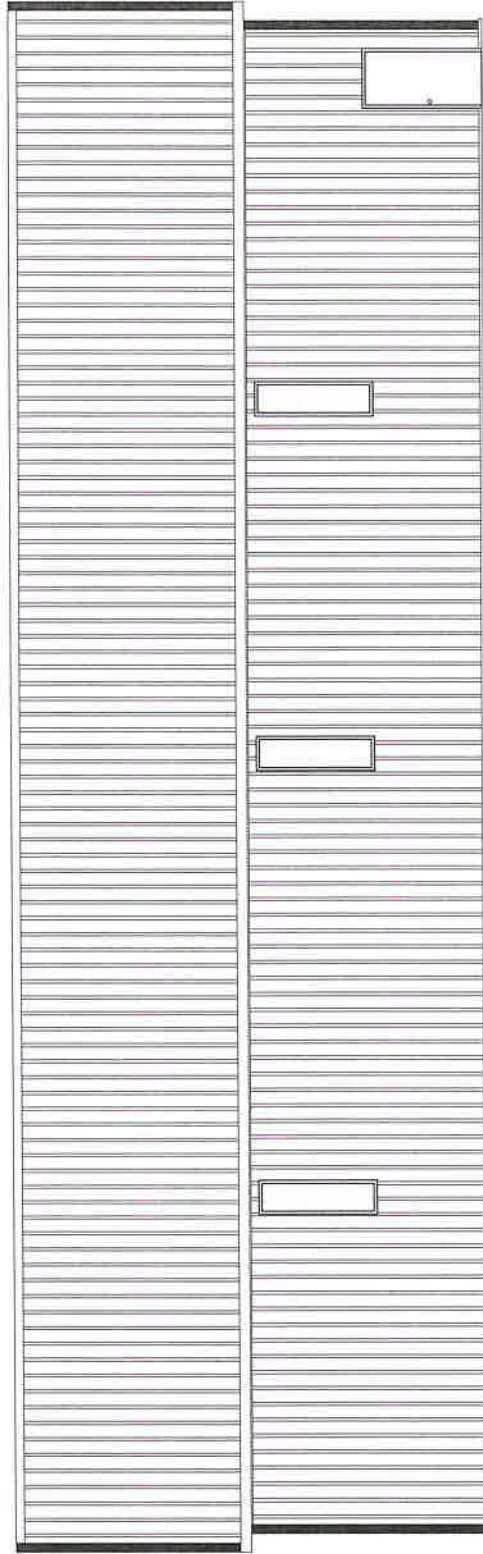
YOUR LOGO

SOUTH SIDE-GABLE SIDE 2 ELEVATION



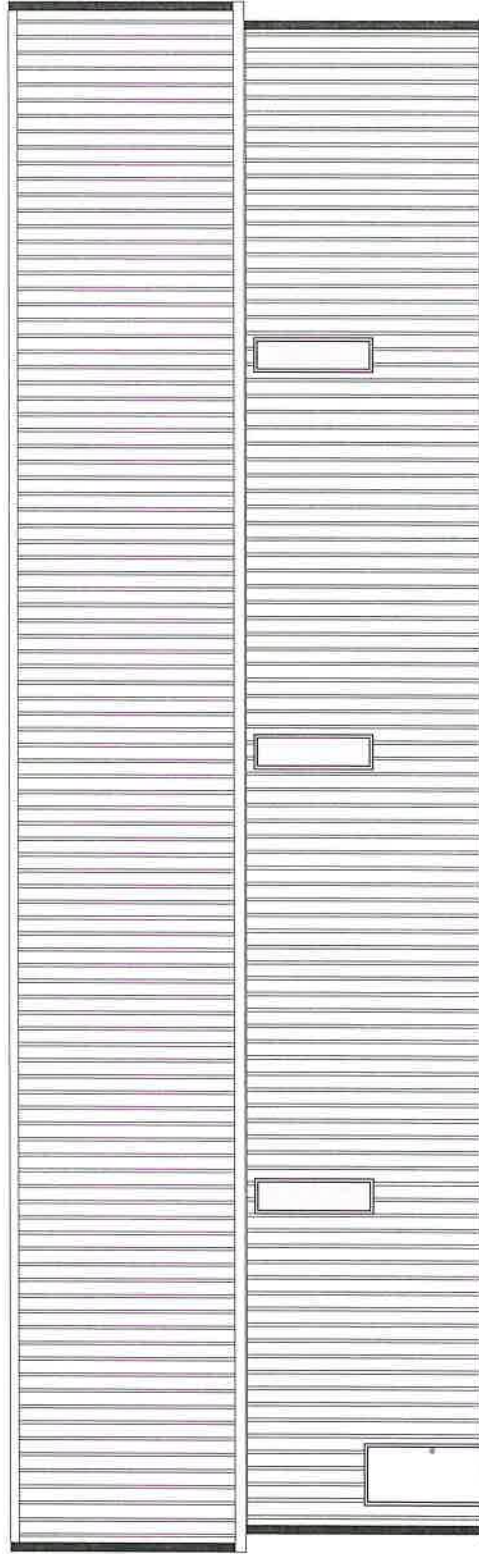
EAST SIDE-EAVE SIDE 1 ELEVATION

YOUR LOGO



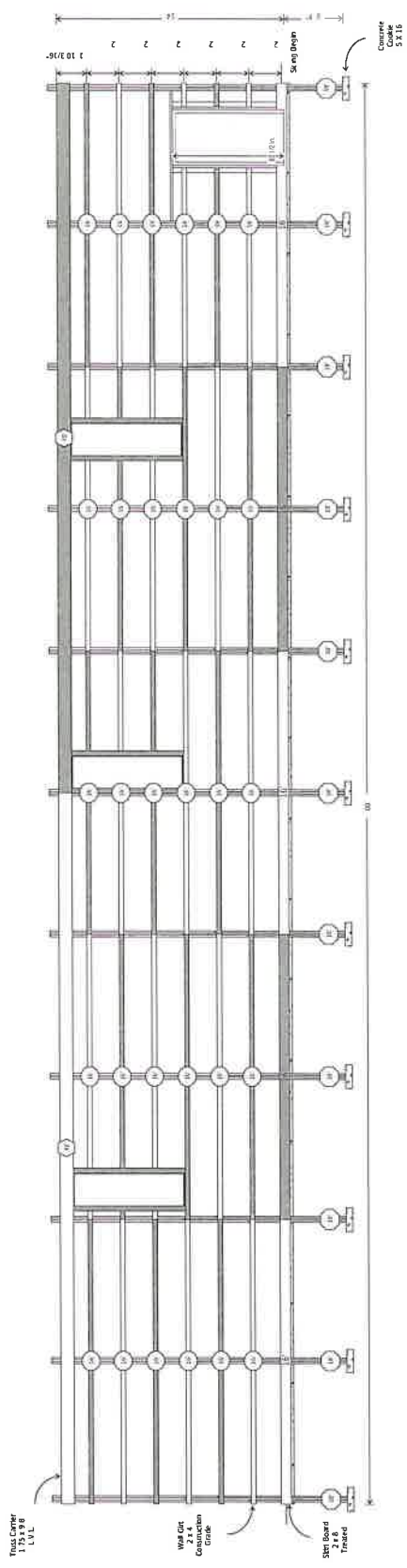
WEST SIDE-EAVE SIDE 2 ELEVATION

YOUR LOGO



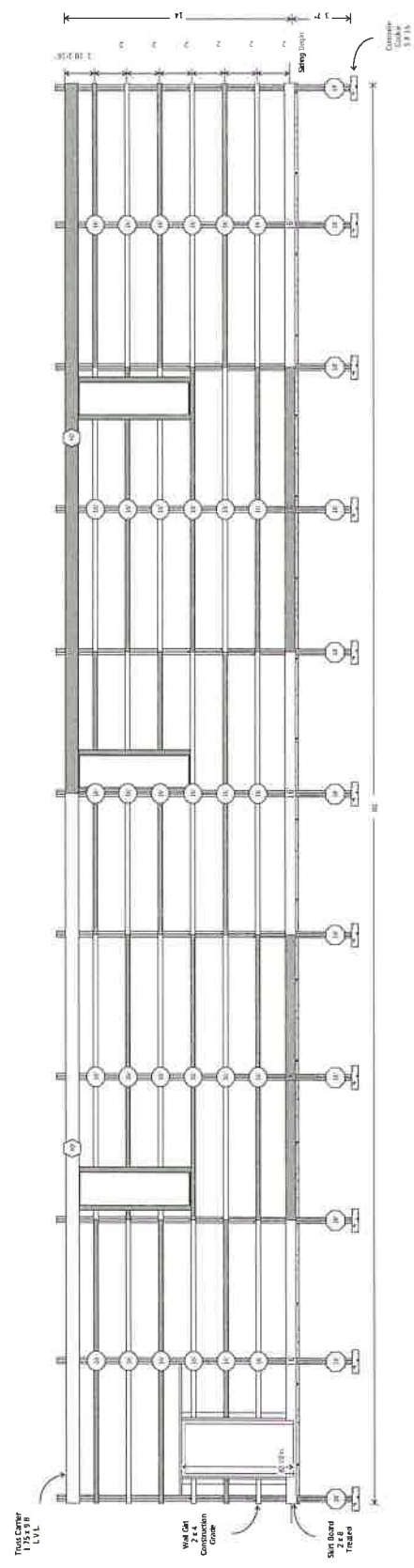
EAST SIDE-EAVE SIDE 1 WALL GIRT VIEW

YOUR LOGO

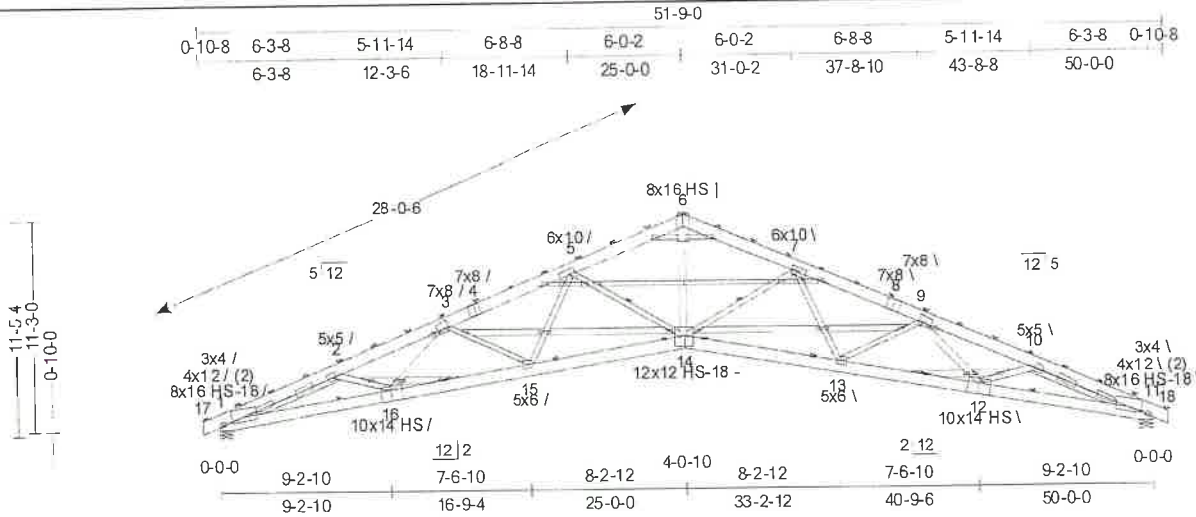


WEST SIDE-EAVE SIDE 2 WALL GIRT VIEW

YOUR LOGO



SPAN	PITCH	QTY	OHL	OHR	CANT L	CANT R	PLYS	SPACING	WGT/PLY
50-0-0	5/12	2	0-10-8	0-10-8	0-0-0	0-0-0	1	48 in	475 lbs



All plates shown to be Eagle 20 unless otherwise noted.

Loading (psf)	General	CSI	Deflection	L/	(loc)	Allowed
TCLL: 20	Bldg Code: IBC 2021/	TC: 0.91 (9-10)	Vert TL: 1.5 in	L/388	14	L/240
GSL: 55	TPI 1-2014	BC: 0.83 (11-12)	Vert LL: 1.2 in	L/485	14	L/360
TCDL: 5 (rake)	Rep Mbr: No	Web: 0.75 (6-14)	Horz TL: 0.89 in		11	
BCLL: 0	Lumber DOL: 115%					
BCDL: 5 (rake)						

Reaction

JT	Brg Combo	Brg Width	Rqd Brg Width	Max React	Max Grav Uplift	Max MWFRS Uplift	Max C&C Uplift	Max Uplift	Max Horz
1	1	8.25 in	4.44 in	5,454 lbs		-1,429 lbs		-1,429 lbs	13 lbs
11	1	8.25 in	4.44 in	5,454 lbs		-1,429 lbs		-1,429 lbs	

Material

TC: SP2400/2.0 2 x 8
BC: SP2400/2.0 2 x 8
Web: SPF 1650/1.5 2 x 4 except
SP2100/1.8 2 x 4: 6-14

Bracing

TC: Purlins at 24" OC, Purlin design by Others.
BC: Sheathed or Purlins at 5-11-0, Purlin design by Others.
Web: One Midpoint Row: 5-14, 7-14

Loads

- 1) This truss has been designed for the effects of balanced (42.3 psf) and unbalanced sloped roof snow loads in accordance with ASCE7-16 with the following user defined input: 55 psf GSL, Terrain C, Exposure (Ce = 1.0), Thermal (Ct = 1.10), DOL = 1.15. If the roof configuration differs from hip/gable, Building Designer shall verify snow loads.
- 2) This truss has been designed to account for the effects of ice dams forming at the eaves.
- 3) This truss has been designed for the effects of wind loads in accordance with ASCE7-16 with the following user defined input: 115 mph (Factored), Exposure C, Enclosed, Gable, Risk Category II, h=B=L=20 ft, Not End Zone Truss, Both end webs considered. DOL = 1.60
- 4) This truss has been designed for the effects of a 18.9 psf live load computed in accordance with IBC 2021 assuming slope = 5/12 and area supported = 207 ft², DOL = 115%
- 5) Minimum storage attic loading has not been applied in accordance with IBC 1607.1
- 6) In accordance with IBC 1607.1, minimum BCLL's do not apply.

Member Forces

Table indicates: Member ID, max CSI, max tension force, (max compression force). Only forces greater than 300lbs are shown in this table.

Member	Force 1	Force 2	Force 3	Force 4	Force 5	Force 6	Force 7	Force 8	Force 9	Force 10	Force 11	Force 12	Force 13	Force 14	Force 15	Force 16	Force 17	Force 18	Force 19	Force 20
TC	1-2	0.604	3,075 lbs	(-11,970 lbs)	5-6	0.565	2,911 lbs	(-11,248 lbs)	9-10	0.912	4,127 lbs	(-16,126 lbs)								
	2-3	0.912	4,127 lbs	(-16,126 lbs)	6-7	0.565	2,911 lbs	(-11,248 lbs)	10-11	0.604	3,075 lbs	(-11,970 lbs)								
	3-5	0.740	3,678 lbs	(-14,281 lbs)	7-9	0.740	3,678 lbs	(-14,281 lbs)												
BC	11-12	0.829	15,074 lbs	(-3,755 lbs)	13-14	0.599	12,606 lbs	(-2,722 lbs)	15-16	0.754	14,773 lbs	(-3,490 lbs)								
	12-13	0.754	14,773 lbs	(-3,490 lbs)	14-15	0.598	12,605 lbs	(-2,721 lbs)	16-1	0.829	15,073 lbs	(-3,755 lbs)								
Web	2-16	0.059	363 lbs		5-15	0.240	1,479 lbs	(-387 lbs)	7-14	0.600	912 lbs	(-3,418 lbs)	9-12	0.053	325 lbs					
	3-16	0.053	324 lbs		5-14	0.600	912 lbs	(-3,417 lbs)	7-13	0.240	1,479 lbs	(-387 lbs)	10-12	0.059	362 lbs					
	3-15	0.566	703 lbs	(-1,830 lbs)	6-14	0.746	7,090 lbs	(-1,759 lbs)	9-13	0.565	702 lbs	(-1,828 lbs)								

Notes

- 1) Unless noted otherwise, do not cut or alter any truss member or plate without prior approval from a Professional Engineer.
- 2) Gable webs placed at 30" OC, U.N.O.
- 3) Attach structural gable blocks with 2x4 20ga plates, U.N.O.
- 4) Bracing shown is for in-plane requirements. For out-of-plane requirements, refer to BCSI-B3 published by the SBCA.
- 5) The fabrication tolerance for this roof truss is 10% (Cq = 0.90).
- 6) Building Designer shall verify self weight of the truss and other dead load materials do not exceed TCDL 5 psf.
- 7) Building Designer shall verify self weight of the truss and other dead load materials do not exceed BCDL 5 psf.

WARNING: Verify all design parameters and follow all notes on this drawing and in the Eagle Metal Design Notes. This design is for an individual building component (a truss), not a truss system, and is based only on parameters shown and provided by the Building Designer. The applicability of the design parameters must be verified by the Building Designer and should properly incorporate this design into the overall building design before use. Bracing shown is only to prevent buckling of individual truss web and/or chord members. Additional temporary and permanent bracing is always required to prevent collapse and provide stability Design valid only when Eagle Metal connectors are used. A seal on this drawing indicates acceptance of professional engineering responsibility solely for the truss component design shown.

R&L Custom Truss
 5164 Harris Rd.
 Randolph, NY 14772

Truss:HGE03-NIAGARA

Job: RLC0923

Date: 09/24/25 09:13:36

Page: 2 of 2

SPAN	PITCH	QTY	OHL	OHR	CANT L	CANT R	PLYS	SPACING	WGT/PLY
30-0-0	5/12	2	0-10-8	0-10-8	0-0-0	0-0-0	1	48 in	475 lbs

8) Design assumes minimum γ_2 (flat orientation, visually graded) purlins attached to the top of the TC at purlin spacing shown with at least 2-10d nails

9) Gable must be sheathed on one side or lateral bracing applied appropriately.

10) Lateral bracing shown is for illustration purposes only and may be placed on either edge of truss member.

11) A creep factor of 2.00 has been applied for this truss analysis.

12)  Indicates lateral bracing required perpendicular to the plane of the truss at either the midpoint (one shown) or third points (two shown), bracing by others. See BCSI-B3 for additional information.

13) Listed wind uplift reactions based on MWFRS & C&C loading.

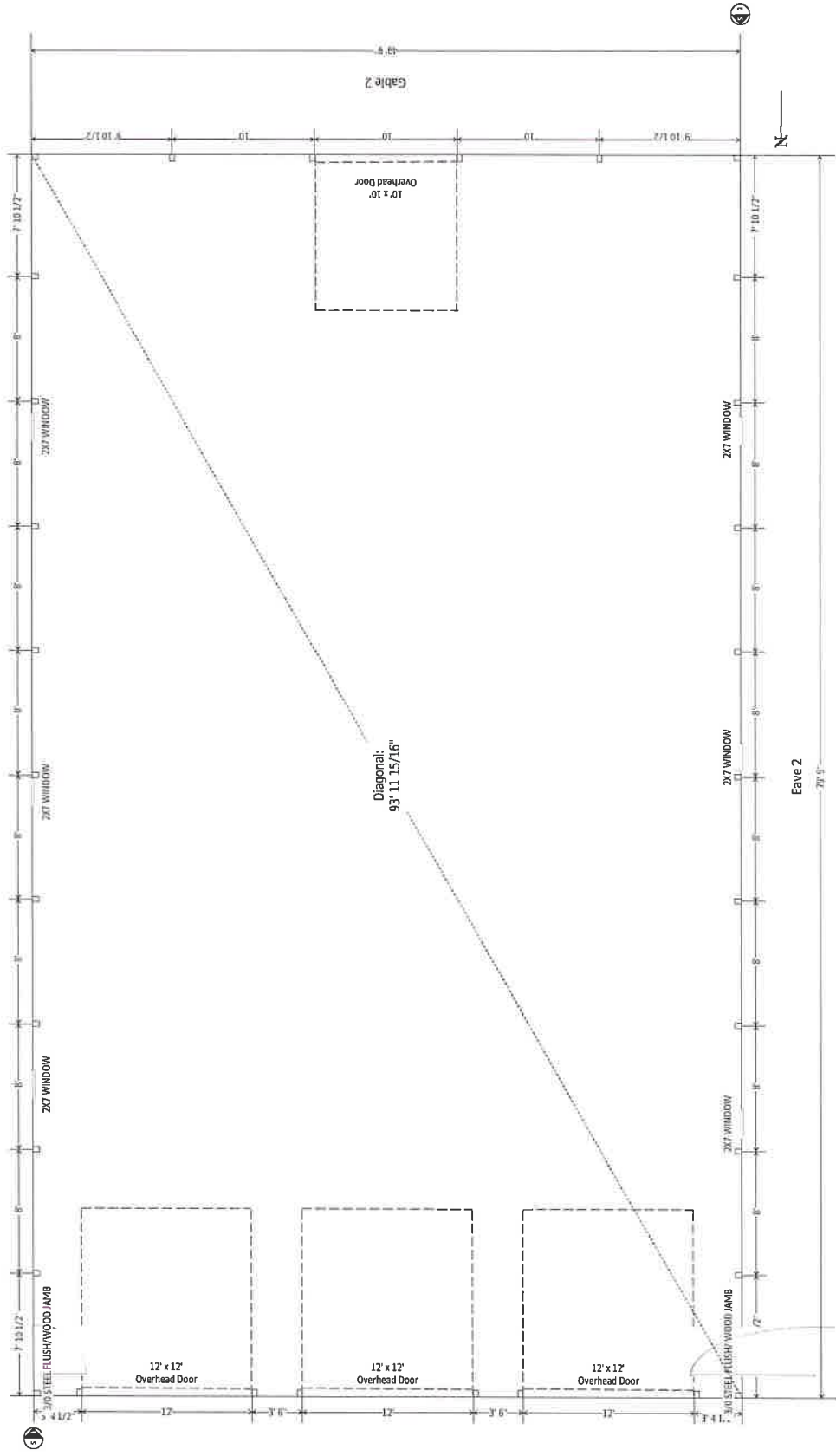
WARNING: Verify all design parameters and follow all notes on this drawing and in the Eagle Metal Design Notes.

This design is for an individual building component (a truss), not a truss system, and is based only on parameters shown and provided by the Building Designer. The applicability of the design parameters must be verified by the Building Designer and should properly incorporate this design into the overall building design before use. Bracing shown is only to prevent buckling of individual truss web and/or chord members. Additional temporary and permanent bracing is always required to prevent collapse and provide stability. Design valid only when Eagle Metal connectors are used. A seal on this drawing indicates acceptance of professional engineering responsibility solely for the truss component design shown.

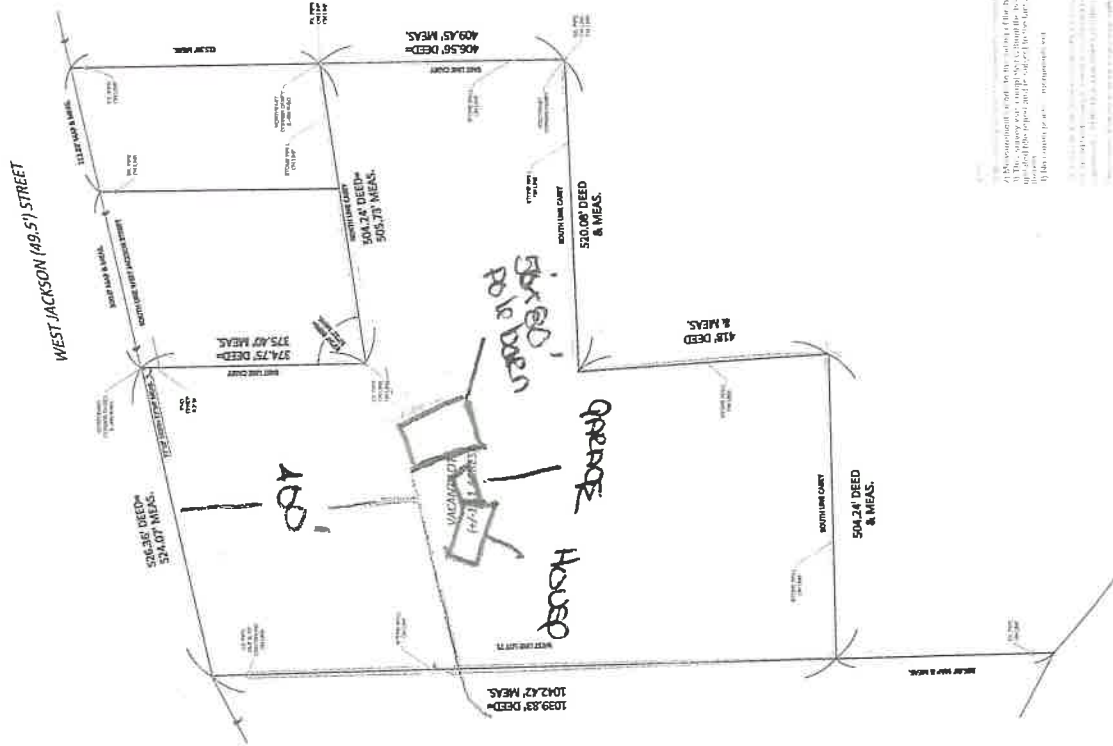
TrueBuild® Truss Software v5.8.5
 Eagle Metal Products

POLE LAYOUT
Personal Use, 4000 sq. ft.
Eave 1

YOUR LOGO



Gable 1



NORTHEAST TOWNSHIP SURVEYING, INC.
 100 WEST 100TH STREET
 NEW YORK, N.Y. 10024
 PHONE: 718-549-3844

SCALE: 1" = 200'
 AREA = 11.1 ACRES
 FIELD BOOK: DATE: AUGUST 6, 2021
 OFFICE SURVEY DATE: AUGUST 6, 2021
 RECORD NO. 21-523



MICHAEL D. BARBER, S.S.
 SURVEYOR GENERAL

ALL THAT TRACT OR PARCELS OF LAND, SITUATE IN THE
 COUNTY OF WESTCHESTER, STATE OF NEW YORK,
 NEW YORK, BEING PART OF LOT 71, TOWNSHIP 14, RANGE 7
 OF THE HOLLAND LAND COMPANY'S SURVEY

DOCUMENT: 2018-09774
 TAX MAP NO. 18077-1-1
 COUNTY: WESTCHESTER

1) The monument is 504.24 feet by 504.24 feet.
 2) The survey was completed on the 6th day of August, 2021.
 3) The survey was completed on the 6th day of August, 2021.
 4) The survey was completed on the 6th day of August, 2021.
 5) The survey was completed on the 6th day of August, 2021.



Building Inspection Department

Jason Dool
Chief Building Inspector

Lockport Municipal Building
One Locks Plaza
Lockport, NY 14094
Phone (716) 439-6759
Fax (716) 439-6605

NOTICE OF PUBLIC HEARING

Case No. 2362

October 14, 2025

Megan Brewer

Dear Sir or Madam:

An Appeal under the Zoning Ordinance as applied to the property at 16 Lakeview Parkway, New York, had been filed by Suzanne Trombitas.

The request is for a variance to demolish the existing detached garage and erect a 16' x 24' detached garage situated in a Low Density Residential Zone.

Approval of the permit application was denied or withheld because the lot coverage will increase to 34.1% and the garage will be located 3' from the west property line.

The City of Lockport Zoning Ordinance allows a maximum 30% lot coverage and requires a minimum 5' side yard setback in a Low Density Residential Zone.

A Public Hearing will be held by the Zoning Board of Appeals on **Tuesday, October 28, 2025 at 5:00 P.M.**, at the Lockport Municipal Building, One Locks Plaza, Lockport, New York, at which time you may appear, if you so desire, either in person or by agent or attorney.

The purpose of this Hearing is to give all affected property owners an opportunity to support or oppose the granting of this Appeal.

Supporting documentation for this case may be found on the City of Lockport website lockportny.gov.

LOCKPORT ZONING BOARD OF APPEALS
Megan Brewer

BRIEF HISTORY OF PROPERTY (historic use of property, ownership history, etc.)

ALWAYS A SINGLE FAMILY HOME BUILT 1940

DESCRIPTION OF PROPOSED ACTION (include specific use proposed, hours, # of employees, etc.)

REPLACE GARAGE WITH A 16'X24' GARAGE THAT WILL BE APPROX. 3' FROM WEST PROPERTY LINE, SAME AS EXISTING. CURRENT GARAGE MEASURES 12'X20'

VARIANCE STANDARDS (USE VARIANCE)

Applications for use variances must be based on alleviating a clearly demonstrable hardship, as opposed to a special privilege of convenience sought by the owner. Furthermore, the hardship must be peculiar to the land or building and must not generally apply to land throughout the neighborhood. An example of a property that may potentially have a case for a used variance is a corner store in a predominantly residential neighborhood. If the building has large plate glass windows, a parking lot and loading docks in the rear, it would be extremely costly to convert the building to residential uses to comply with existing zoning regulations.

VARIANCE STANDARDS (AREA VARIANCE)

Applications for area variances must be based on some extraordinary topographic condition or other physical condition inherent in the parcel (for example: exceptional narrowness, shallowness, shape or area). This condition must prohibit or unreasonably restrict the use of the land and/or building. One example of special condition: A utility right-of-way cutting through the rear half of several properties within a larger neighborhood limiting the buildable area of those properties, thereby requiring variances for rear and side yard setbacks for those particular property owners to construct new garages or sheds.

DESCRIPTION OF HARDSHIP (describe the features or conditions of the property that restrict reasonable use of the property under current zoning regulations)

WITHOUT VARIANCE ACCESS TO GARAGE BY VEHICLE IS GROSSLY IMPAIRED

Describe how the requested variance will not alter the character of the larger neighborhood or impact adjacent properties:

NEW GARAGE WILL NOT BE ANY CLOSER TO PROPERTY LINE AS EXISTING GARAGE

APPLICATION ATTACHMENTS

To ensure appropriate and timely review of the application, please provide the following additional documentation in support of the application. Failure to provide all of the applicable materials listed below may result in a delay in scheduling the application for review by the Zoning Board of Appeals.

- \$150 application fee (cash or checks payable to the City of Lockport)
- Detailed site plan (10 copies)
- Photographs of existing conditions
- Property survey (10 copies)

APPLICANT/OWNER AFFIRMATION

I, THE UNDERSIGNED, DO HEREBY AFFIRM THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE AND I FURTHER UNDERSTAND THAT INTENTIONALLY PROVIDING FALSE OR MISLEADING INFORMATION IS GROUNDS FOR IMMEDIATE DENIAL OF MY APPLICATION.

FURTHERMORE, I UNDERSTAND THAT I (OR A DESIGNATED REPRESENTATIVE) MUST BE PRESENT AT THE MEETING TO REPRESENT THE APPLICATION AND RESPOND TO ANY QUESTIONS FROM THE ZONING BOARD OF APPEALS MEMBERS.


Signature (Applicant)

10-9-25
Date

IF APPLICANT IS NOT THE OWNER OF RECORD FOR SUBJECT PARCEL:

I, THE UNDERSIGNED, HEREBY AFFIRM THAT I AM THE OWNER OF RECORD FOR THE SUBJECT PARCEL AT THE TIME OF APPLICATION. FURTHERMORE, I AM FAMILIAR WITH THE REQUEST BY THE APPLICANT AND AUTHORIZE SAID APPLICANT TO REPRESENT THE INTEREST OF THE OWNER (S) IN FURTHERANCE OF THE REQUEST.


Signature (Owner)

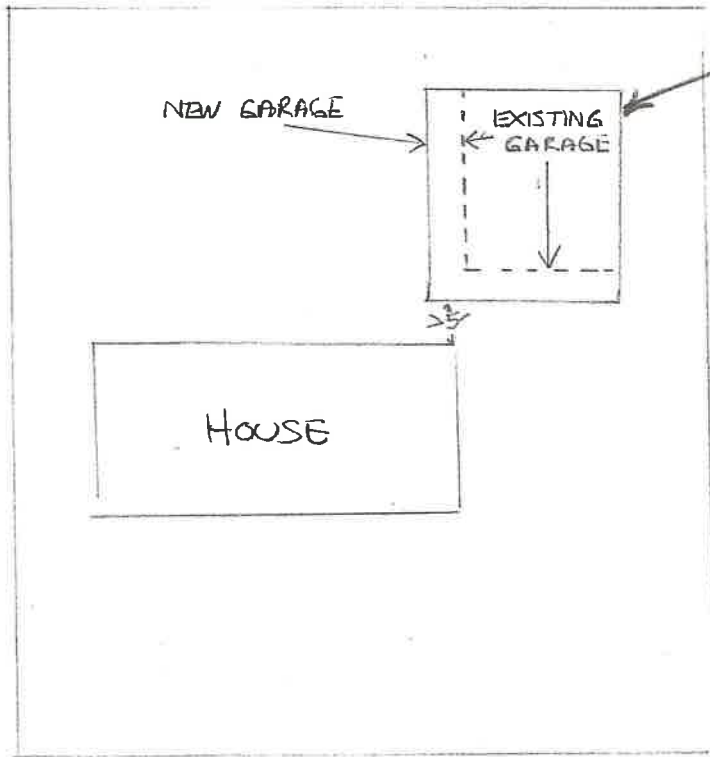
10/9/25
Date

Regular meetings of the Zoning Board of Appeals are generally held on the 4th Tuesday of every month. The meetings are held at 5:00 P.M. in the Common Council chambers on the first floor of City Hall. Applicants will receive a reminder notice in the mail prior to the meeting.

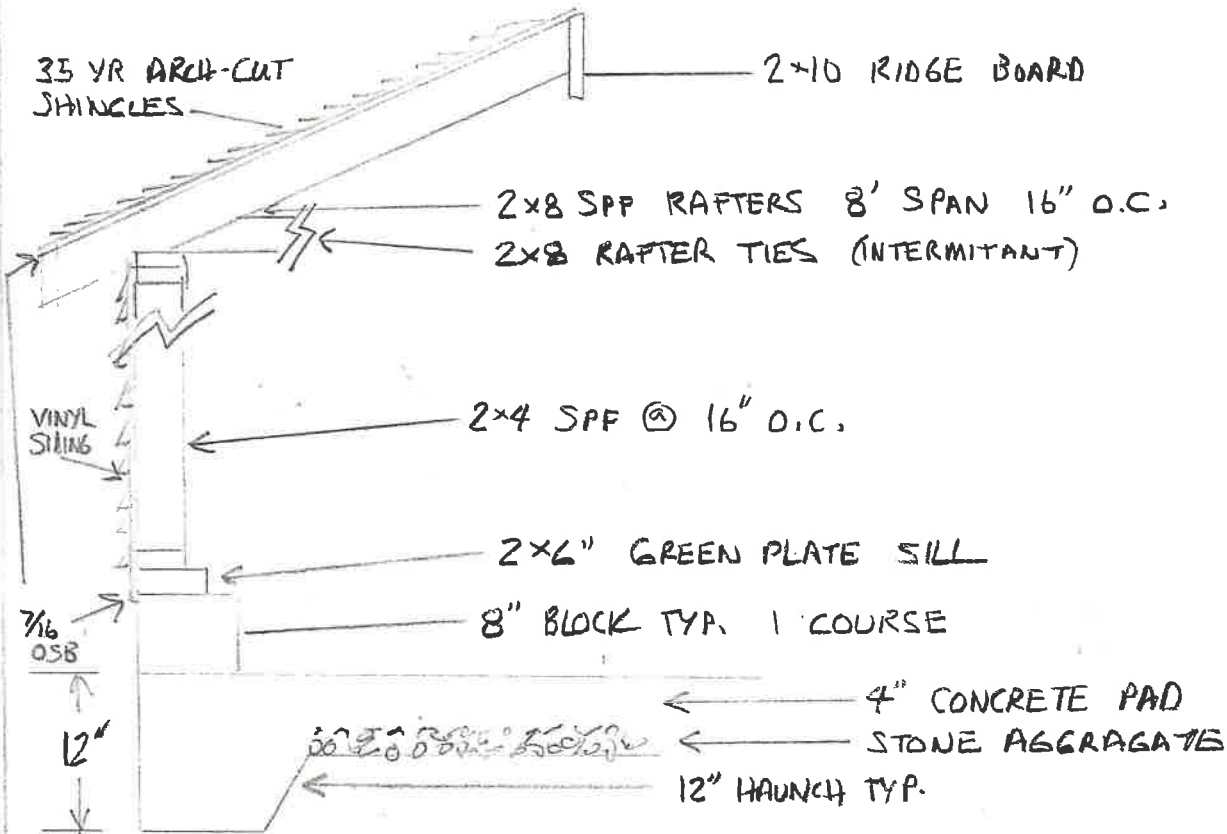
Pursuant to Section §190-188(d) of the City of Lockport Zoning Ordinance, property owners within a 200' radius will be notified of the intent of the applicant and given an opportunity to speak for or against the application.

16'x24' GARAGE REPLACEMENT

WEST EDGE OF GARAGE TO REMAIN AS EXISTING. APPROX. 3' FROM PROPERTY LINE



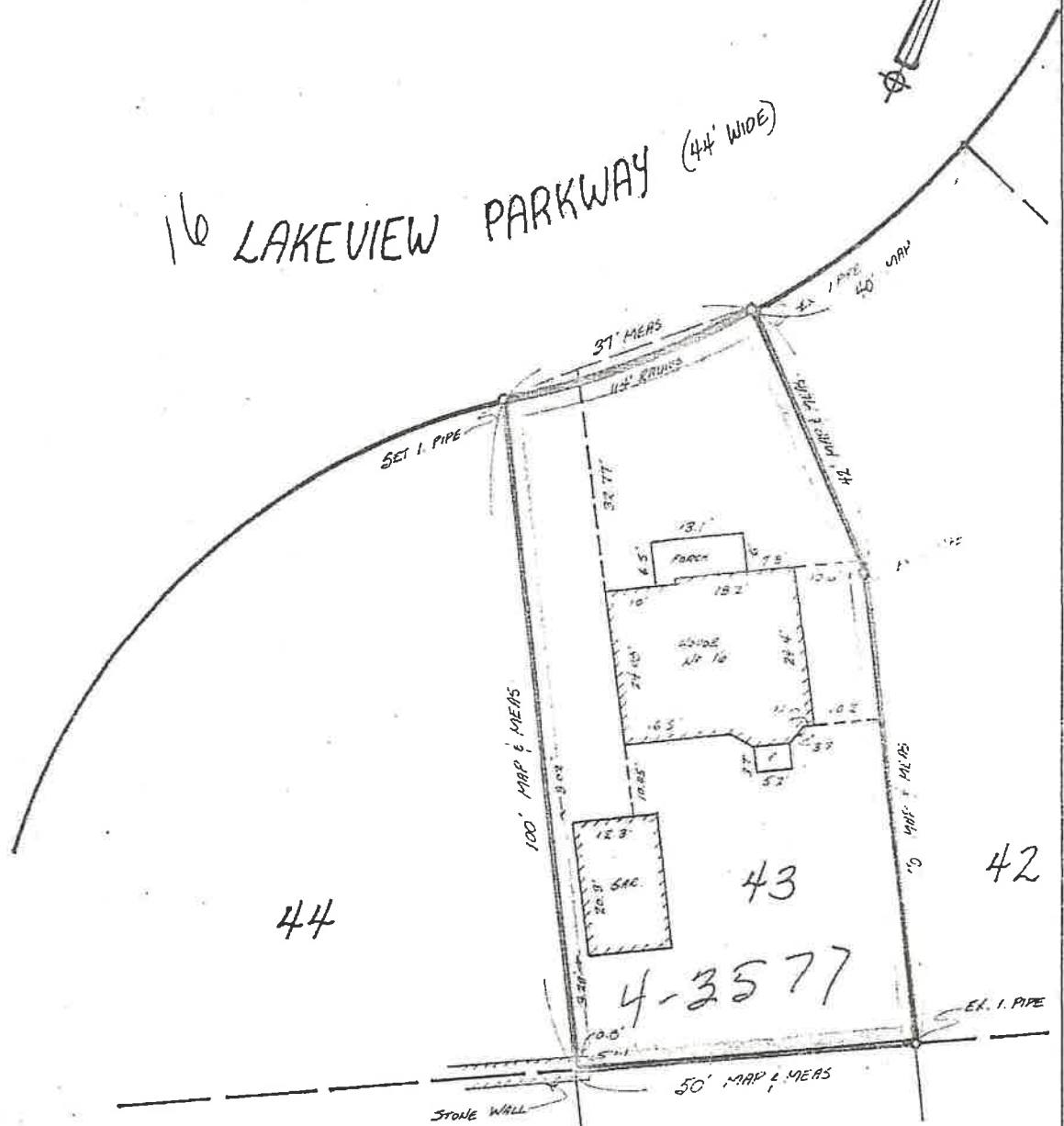
NOTE: GARAGE TO HAVE 9'x8' OVERHEAD DOOR TWO 2'x2' WINDOWS AND 1 32" ENTRY DOOR



ADDRESS: 16 LAKEVIEW PKWY.	HOMEOWNERS: SUE+MIKE TROMBITAS
CONTRACTOR: H.P. CONSTRUCTION	PHONE: 716-628-7970
PHONE: 716-622-0775	DATE: 10-3-25

MAP REFERENCE:
 MAP MADE BY JULIUS FRENSE, C.E.,
 JUNE 15, 1917. FILED IN NIAGARA CO.
 CLERK'S OFFICE JULY 5, 1917. NOW
 FOUND IN BOOK 14 OF MAPS AT PAGE 70.

16 LAKEVIEW PARKWAY (44' WIDE)



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Altering any item on this map is in violation of the law, except as provided in Section 7-205, Part 2 of the New York State Education Law.

SURVEY OF: SUBDIVISION LOT 43 - LAKEVIEW PARKWAY		JOHN P. HINTON LAND SURVEYOR
CITY OF LOCKPORT, NIAGARA CO., NEW YORK		
LOCATION: 16 LAKEVIEW PARKWAY		347 EAST AVE. LOCKPORT, N. Y. 14094
SCALE: 1"=20'	DATE: MARCH 20, 1977	

Job No 77031196