



Building Inspection Department

Jason Dool
Chief Building Inspector

Lockport Municipal Building
One Locks Plaza
Lockport, NY 14094
Phone (716) 439-6759
Fax (716) 439-6605

May 11, 2026

Megan Brewer

AGENDA

Please be advised that there are six (6) items on the agenda for the regularly scheduled Zoning Board of Appeals Meeting, Tuesday, May 26, 2026. The Zoning Board of Appeals will convene at 4:30 P.M. for agenda discussion and a public hearing will be held at 5:00 P.M.

1. Ashely Boyer. 28 Remick Parkway. Request to remove and replace the existing 12' x 12' roof covering over the front porch situated in a Low Density Residential Zone. (Area-13.26' north line)
2. Jeff Lesser. 371 East Union Street. Request to erect a 33.5' x 14.5' addition to the rear of the house situated in a Low Density Residential Zone. (Area-6' west line)
3. NYS Essential Power, Inc. 82 Outwater Drive. Request to install an 11.61 KW roof mounted solar array situated in a Medium Density Residential Zone. (Area- solar array 11.61 KW)
4. Empire Solar Solutions. 394 Lincoln Avenue. Request to install a 12.42 KW roof mounted solar array situated in a Low Density Residential Zone. (Area-solar array 12.42 KW)
5. Hurren Properties, LLC. 598 & 600 West Avenue. Request to combine 598 & 600 West Avenue and subdivide the southerly 156.14' x 624' section situated in a General Industrial Zone. (Area-100% impervious area)
6. Caren Higgins. 221 Lincoln Avenue. Request to erect a 6' wooden fence on the west property line situated in a Low Density Residential Zone. (Area-fence higher than 3')

If you cannot attend the meeting please contact Megan Brewer at 716-439-6754 or mbrewer@lockportny.gov



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NOTICE OF PUBLIC HEARING

Case No. 2372

May 11, 2026

Megan Brewer

Dear Sir or Madam:

An Appeal under the Zoning Ordinance as applied to the property at 28 Remick Parkway, Lockport, New York, had been filed by Ashley Boyer.

The request is for a variance to remove and replace the existing 12' x 12' roof covering over the front porch situated in a Low Density Residential Zone.

Approval of the permit application was denied or withheld because the front porch roof covering will be situated 13.26' from the north property line.

The City of Lockport Zoning Ordinance requires a minimum 35' front yard setback in a Low Density Residential Zone.

A Public Hearing will be held by the Zoning Board of Appeals on **Tuesday, May 26, 2026 at 5:00 P.M.**, at the Lockport Municipal Building, One Locks Plaza, Lockport, New York, at which time you may appear, if you so desire, either in person or by agent or attorney.

The purpose of this Hearing is to give all affected property owners an opportunity to support or oppose the granting of this Appeal.

Supporting documentation for this case may be found on the City of Lockport website lockportny.gov.

LOCKPORT ZONING BOARD OF APPEALS
Megan Brewer

2372

CITY OF LOCKPORT, NEW YORK ZONING BOARD OF APPEALS APPLICATION

_____ AREA VARIANCE

_____ USE VARIANCE

It is the responsibility of the applicant to complete this form in its entirety, including all required attachments, and as precisely as possible. Failure to submit a complete application may result in a delay in being placed on a Zoning Board of Appeals agenda or a delayed decision from the Zoning Board.

PROPERTY ADDRESS: 28 Remick place

APPLICANT INFORMATION

NAME: Ashley Boyer ADDRESS: 28 Remick place

PHONE: [REDACTED] Lockport NY 14094
CITY STATE ZIP

FAX: _____ E-MAIL: [REDACTED]

OWNER INFORMATION

NAME: Ashley Boyer ADDRESS: 28 Remick place

PHONE: [REDACTED] Lockport NY 14094
CITY STATE ZIP

FAX: _____ E-MAIL: [REDACTED]

RELATIONSHIP OF APPLICANT TO PROPERTY:

- CONTRACT PURCHASER CONTRACTOR OTHER
- ARCHITECT/ ENGINEER LESSEE

OFFICE USE ONLY

RECEIVED BY: _____ DATE/TIME RECEIVED: _____

FEE AMOUNT: _____ CHECK/MONEY ORDER#: _____

ZONING: _____ FEE TRANSMITTAL DATE: _____

AGENDA DATE: _____ DEADLINE DATE: _____

COUNTY TAX MAP IDENTIFICATION NUMBER: _____

BRIEF HISTORY OF PROPERTY (historic use of property, ownership history, etc.)

I received the house with the front porch as it was. It's been up long enough that the old roof had 2 layers of shingles. I got the house because of the beautiful covered front porch that didn't face all the apartments to the rear of the house. I plan on using my covered front porch as I have been since I got the house to not have to deal with the ugly look of the apartments behind me.

VARIANCE STANDARDS (USE VARIANCE)

Applications for use variances must be based on alleviating a clearly demonstrable hardship, as opposed to a special privilege of convenience sought by the owner. Furthermore, the hardship must be peculiar to the land or building and must not generally apply to land throughout the neighborhood. An example of a property that may potentially have a case for a used variance is a corner store in a predominantly residential neighborhood. If the building has large plate glass windows, a parking lot and loading docks in the rear, it would be extremely costly to convert the building to residential uses to comply with existing zoning regulations.

VARIANCE STANDARDS (AREA VARIANCE)

Applications for area variances must be based on some extraordinary topographic condition or other physical condition inherent in the parcel (for example: exceptional narrowness, shallowness, shape or area). This condition must prohibit or unreasonably restrict the use of the land and/or building. One example of special condition: A utility right-of-way cutting through the rear half of several properties within a larger neighborhood limiting the buildable area of those properties, thereby requiring variances for rear and side yard setbacks for those particular property owners to construct new garages or sheds.

DESCRIPTION OF HARDSHIP (describe the features or conditions of the property that restrict reasonable use of the property under current zoning regulations)

As described in the variance standards, I got the house with the front porch & roof there. And it has been there forever now 15+ years. Why would it truly matter now. It's insured and there when I got the house. I'd love to keep what I paid for honestly.

Describe how the requested variance will not alter the character of the larger neighborhood or impact adjacent properties:

It can't possibly alter the character of the house, sale, or neighborhood as I stated it's been there for 15+ years now. It even had 2 layers of shingles as it was. It's on my insurance, it's on my land survey and I already paid for it so I would be thankful to be able to keep what was already there. Thank you.

APPLICATION ATTACHMENTS

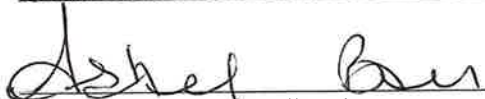
To ensure appropriate and timely review of the application, please provide the following additional documentation in support of the application. Failure to provide all of the applicable materials listed below may result in a delay in scheduling the application for review by the Zoning Board of Appeals.

- ___ \$150 application fee (cash or checks payable to the City of Lockport)
- ___ Detailed site plan (10 copies)
- ___ Photographs of existing conditions
- ___ Property survey (10 copies)

APPLICANT/OWNER AFFIRMATION

I, THE UNDERSIGNED, DO HEREBY AFFIRM THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE AND I FURTHER UNDERSTAND THAT INTENTIONALLY PROVIDING FALSE OR MISLEADING INFORMATION IS GROUNDS FOR IMMEDIATE DENIAL OF MY APPLICATION.

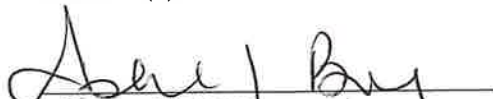
FURTHERMORE, I UNDERSTAND THAT I (OR A DESIGNATED REPRESENTATIVE) MUST BE PRESENT AT THE MEETING TO REPRESENT THE APPLICATION AND RESPOND TO ANY QUESTIONS FROM THE ZONING BOARD OF APPEALS MEMBERS.


Signature (Applicant)

5/16/20
Date

IF APPLICANT IS NOT THE OWNER OF RECORD FOR SUBJECT PARCEL:

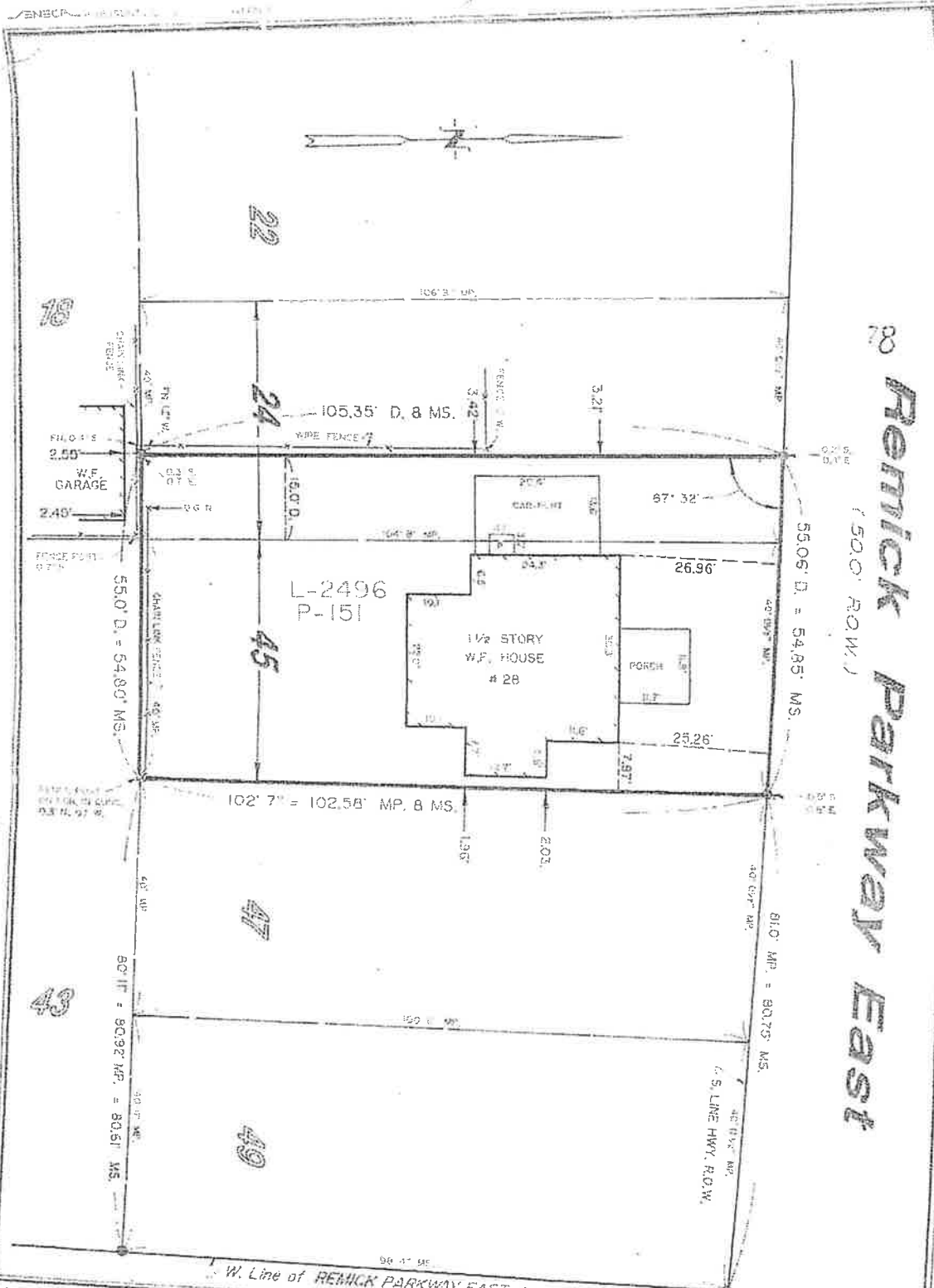
I, THE UNDERSIGNED, HEREBY AFFIRM THAT I AM THE OWNER OF RECORD FOR THE SUBJECT PARCEL AT THE TIME OF APPLICATION. FURTHERMORE, I AM FAMILIAR WITH THE REQUEST BY THE APPLICANT AND AUTHORIZE SAID APPLICANT TO REPRESENT THE INTEREST OF THE OWNER (S) IN FURTHERANCE OF THE REQUEST.


Signature (Owner)

5/16/20
Date

Regular meetings of the Zoning Board of Appeals are generally held on the 4th Tuesday of every month. The meetings are held at 5:00 P.M. in the Common Council chambers on the first floor of City Hall. Applicants will receive a reminder notice in the mail prior to the meeting.

Pursuant to Section §190-188(d) of the City of Lockport Zoning Ordinance, property owners within a 200' radius will be notified of the intent of the applicant and given an opportunity to speak for or against the application.



W. Line of REMICK PARKWAY EAST (50' R.O.W.)

D. = DEED MP. = MAP MS. = MEASURED ⊙ = EX. IRON ○ = SET IRON ENC. = ENCROACHMENT

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN UPDATED ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.

ROSS W. MARTIN
 PROFESSIONAL LAND SURVEYOR
 5445 LEELE ROAD, LOCKPORT, N.Y. 14094
 PHONE # (716) 434-6531; FAX # (716) 434-1130

SURVEY BEING PART OF LOT 6, SECT. 14, TWP. 14, RG. 6 OF THE HOLLAND PURCHASE.
 REF. MAP by J.F. FRENSEE FILED IN N.C.C.O. IN MICROFILM MAP BOOK 18, AT PAGE 1796 & 1797
 LOCATION: CITY OF LOCKPORT, NIAGARA COUNTY, NEW YORK

SCALE: 1" = 20' DATE: NOV. 1, 2000 JOB #: 0510128 S.B.L. # 109.57-2-10

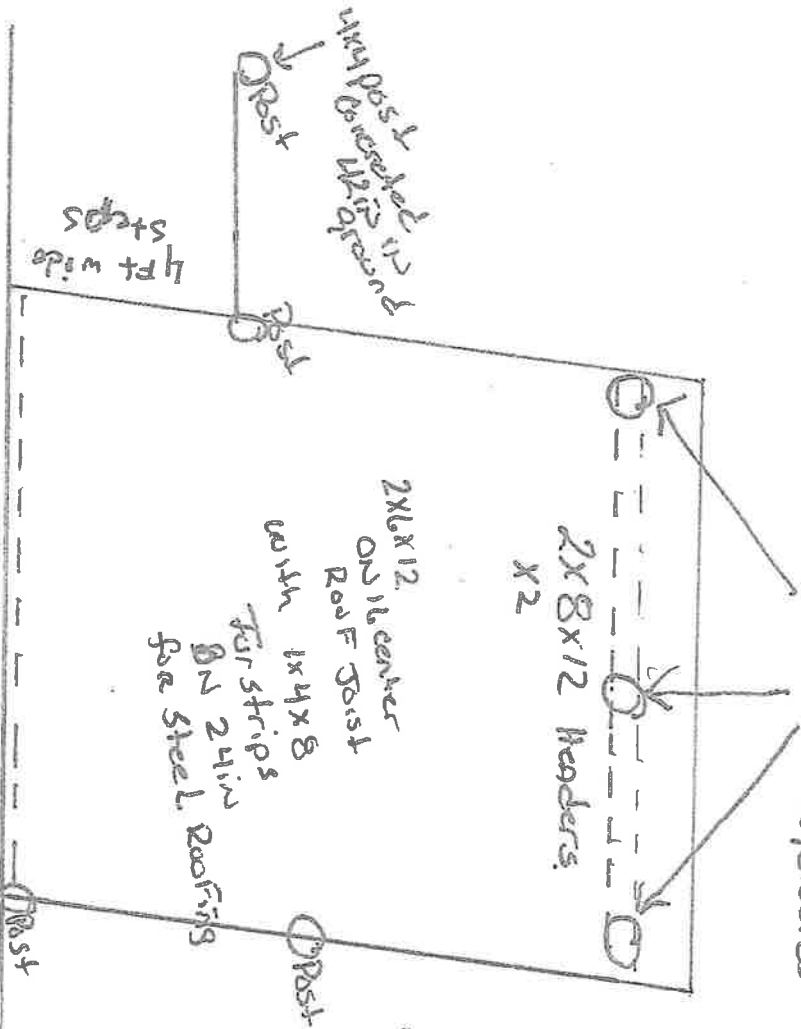
Ross W. Martin

ENCLOSURE FOR TRANSFER - PLEASE ENDORSE WITH NY STATE SEAL NO. 048380

THIS COVER IS EXACTLY AS IT ALWAYS HAS BEEN WITH NO ADJUSTMENTS.

4x4x8 FT post w/blears

exactly the same.



ALL CONNECTION POINTS ARE DONE WITH STRONG TIES PER CODE ALL WOOD IS DONE WITH STAINLESS STEEL SCREWS

2x8x12 Legged to wall studs
HOUSE with 2 LIN STRUCTURE SCREWS ON 16 IN CENTER

Roughly 1.5 sq. siding
Replaced 1/3 screen door



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NOTICE OF PUBLIC HEARING

Case No. 2373

May 11, 2026

Megan Brewer

Dear Sir or Madam:

An Appeal under the Zoning Ordinance as applied to the property at 371 East Union Street, Lockport, New York, had been filed by Jeff Lesser.

The request is for a variance to erect a 33.5' x 14.5' addition to the rear of the house situated in a Low Density Residential Zone.

Approval of the permit application was denied or withheld because the addition will be located 6' from the west property line.

The City of Lockport Zoning Ordinance requires a minimum 10' side yard setback in a Low Density Residential Zone.

A Public Hearing will be held by the Zoning Board of Appeals on **Tuesday, May 26, 2026 at 5:00 P.M.**, at the Lockport Municipal Building, One Locks Plaza, Lockport, New York, at which time you may appear, if you so desire, either in person or by agent or attorney.

The purpose of this Hearing is to give all affected property owners an opportunity to support or oppose the granting of this Appeal.

Supporting documentation for this case may be found on the City of Lockport website lockportny.gov.

LOCKPORT ZONING BOARD OF APPEALS
Megan Brewer

2313

CITY OF LOCKPORT, NEW YORK ZONING BOARD OF APPEALS APPLICATION

AREA VARIANCE

USE VARIANCE

It is the responsibility of the applicant to complete this form in its entirety, including all required attachments, and as precisely as possible. Failure to submit a complete application may result in a delay in being placed on a Zoning Board of Appeals agenda or a delayed decision from the Zoning Board.

PROPERTY ADDRESS: 371 E Union St. Lockport, NY 14094

APPLICANT INFORMATION

NAME: Jeff Lesser ADDRESS: P.O. Box 193 Lockport, NY
PHONE: ~~716-799-3919~~ Lockport NY 14095
FAX: _____ E-MAIL: ~~jeff@jeff.com~~
CITY STATE ZIP

OWNER INFORMATION

NAME: Christian Nodine ADDRESS: 371 E Union St
PHONE: ~~716-622-3006~~ Lockport NY 14094
FAX: _____ E-MAIL: ~~cn@gnmail.com~~
CITY STATE ZIP

RELATIONSHIP OF APPLICANT TO PROPERTY:

CONTRACT PURCHASER CONTRACTOR OTHER
 ARCHITECT/ ENGINEER LESSEE

OFFICE USE ONLY

RECEIVED BY: _____ DATE/TIME RECEIVED: _____
FEE AMOUNT: _____ CHECK/MONEY ORDER#: _____
ZONING: _____ FEE TRANSMITTAL DATE: _____
AGENDA DATE: _____ DEADLINE DATE: _____
COUNTY TAX MAP IDENTIFICATION NUMBER: _____

BRIEF HISTORY OF PROPERTY (historic use of property, ownership history, etc.)

House was built in 1900, it was completely renovated in 2021. I purchased the house on 05/18/2022. Home sq ft 1270

DESCRIPTION OF PROPOSED ACTION (include specific use proposed, hours, # of employees, etc.)

Addition of 2 rooms off the back of the home. One bedroom + one play room. sq ft 467

VARIANCE STANDARDS (USE VARIANCE)

Applications for use variances must be based on alleviating a clearly demonstrable hardship, as opposed to a special privilege of convenience sought by the owner. Furthermore, the hardship must be peculiar to the land or building and must not generally apply to land throughout the neighborhood. An example of a property that may potentially have a case for a used variance is a corner store in a predominantly residential neighborhood. If the building has large plate glass windows, a parking lot and loading docks in the rear, it would be extremely costly to convert the building to residential uses to comply with existing zoning regulations.

VARIANCE STANDARDS (AREA VARIANCE)

Applications for area variances must be based on some extraordinary topographic condition or other physical condition inherent in the parcel (for example: exceptional narrowness, shallowness, shape or area). This condition must prohibit or unreasonably restrict the use of the land and/or building. One example of special condition: A utility right-of-way cutting through the rear half of several properties within a larger neighborhood limiting the buildable area of those properties, thereby requiring variances for rear and side yard setbacks for those particular property owners to construct new garages or sheds.

DESCRIPTION OF HARDSHIP (describe the features or conditions of the property that restrict reasonable use of the property under current zoning regulations)

Current number of bed rooms is 2. Five of us live in the house 2 adults + 3 kids. We need more space for belongings + another bed room.

Describe how the requested variance will not alter the character of the larger neighborhood or impact adjacent properties:

The Addition should not alter our neighborhood. We have a vacant lot next store. Also, we have great relationships with our neighbors.

APPLICATION ATTACHMENTS

To ensure appropriate and timely review of the application, please provide the following additional documentation in support of the application. Failure to provide all of the applicable materials listed below may result in a delay in scheduling the application for review by the Zoning Board of Appeals.

- ___ \$150 application fee (cash or checks payable to the City of Lockport)
- ___ Detailed site plan (10 copies)
- ___ Photographs of existing conditions
- ___ Property survey (10 copies)

APPLICANT/OWNER AFFIRMATION

I, THE UNDERSIGNED, DO HEREBY AFFIRM THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE AND I FURTHER UNDERSTAND THAT INTENTIONALLY PROVIDING FALSE OR MISLEADING INFORMATION IS GROUNDS FOR IMMEDIATE DENIAL OF MY APPLICATION.

FURTHERMORE, I UNDERSTAND THAT I (OR A DESIGNATED REPRESENTATIVE) MUST BE PRESENT AT THE MEETING TO REPRESENT THE APPLICATION AND RESPOND TO ANY QUESTIONS FROM THE ZONING BOARD OF APPEALS MEMBERS.



Signature (Applicant)



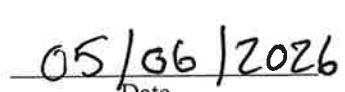
Date

IF APPLICANT IS NOT THE OWNER OF RECORD FOR SUBJECT PARCEL:

I, THE UNDERSIGNED, HEREBY AFFIRM THAT I AM THE OWNER OF RECORD FOR THE SUBJECT PARCEL AT THE TIME OF APPLICATION. FURTHERMORE, I AM FAMILIAR WITH THE REQUEST BY THE APPLICANT AND AUTHORIZE SAID APPLICANT TO REPRESENT THE INTEREST OF THE OWNER (S) IN FURTHERANCE OF THE REQUEST.



Signature (Owner)



Date

Regular meetings of the Zoning Board of Appeals are generally held on the 4th Tuesday of every month. The meetings are held at 5:00 P.M. in the Common Council chambers on the first floor of City Hall. Applicants will receive a reminder notice in the mail prior to the meeting.

Pursuant to Section §190-188(d) of the City of Lockport Zoning Ordinance, property owners within a 200' radius will be notified of the intent of the applicant and given an opportunity to speak for or against the application.

EXISTING HOUSE

6 X 2 ANKLES
SCHEDULE 40
W/STAINLESS

23'-4"

REMOVE WINDOW
& FRAME FOR A 60"
CASSID OPENING

PLAYROOM
152 SF

PRIMARY ROOM
228 SF

W.I.C.

(2) 3/4" X 57" DN

(2) 3/4" X 57" DN

0.34

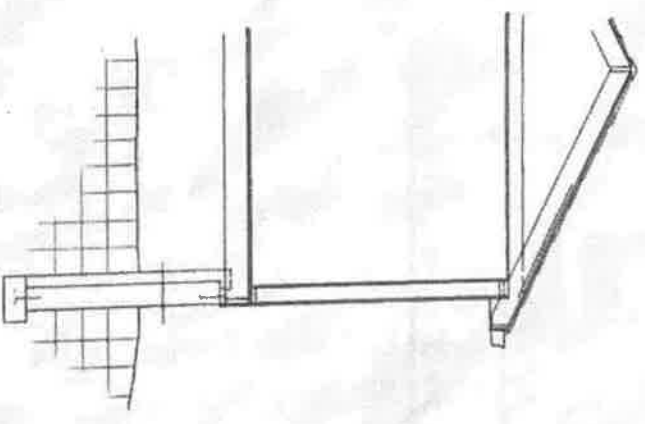
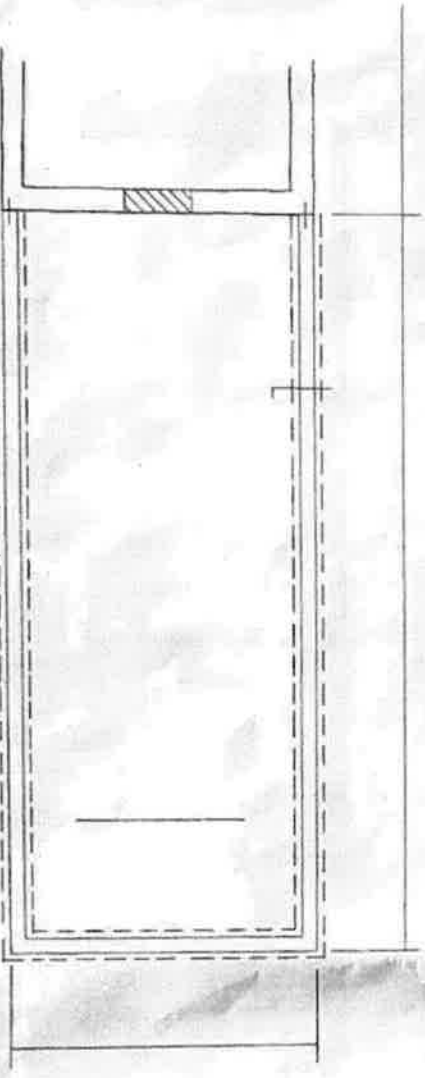
0.34

14'-0"

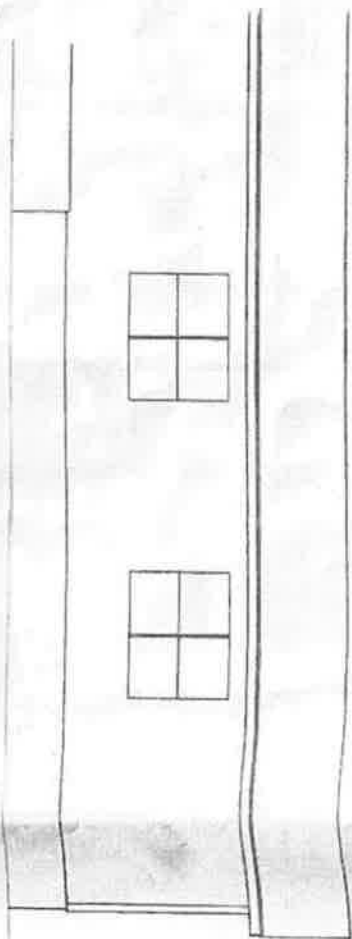
FLOOR PLAN

407 SF

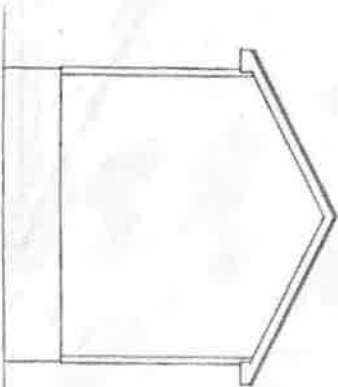
SCALE 1/8" = 1'-0"



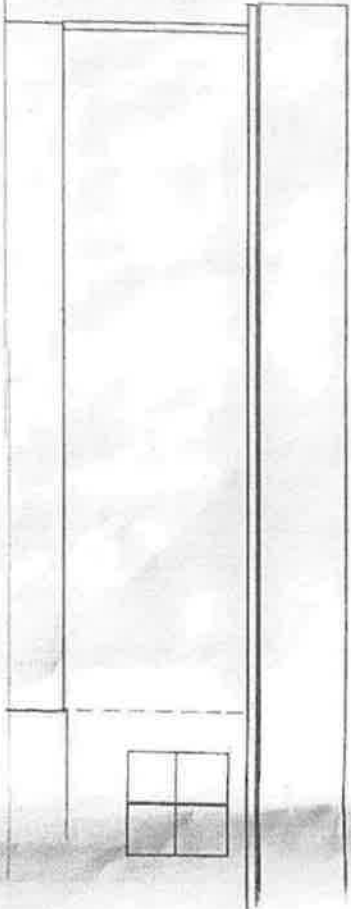
NOBINE		DATE OF LAST
SCALE AND NOTED	DATE	NO. OF LAST
DATE: MAY '26		040
371 E UNION ST		2022
LOCKPORT		
PLANS & SECTION		



NORTHEAST ELEVATION

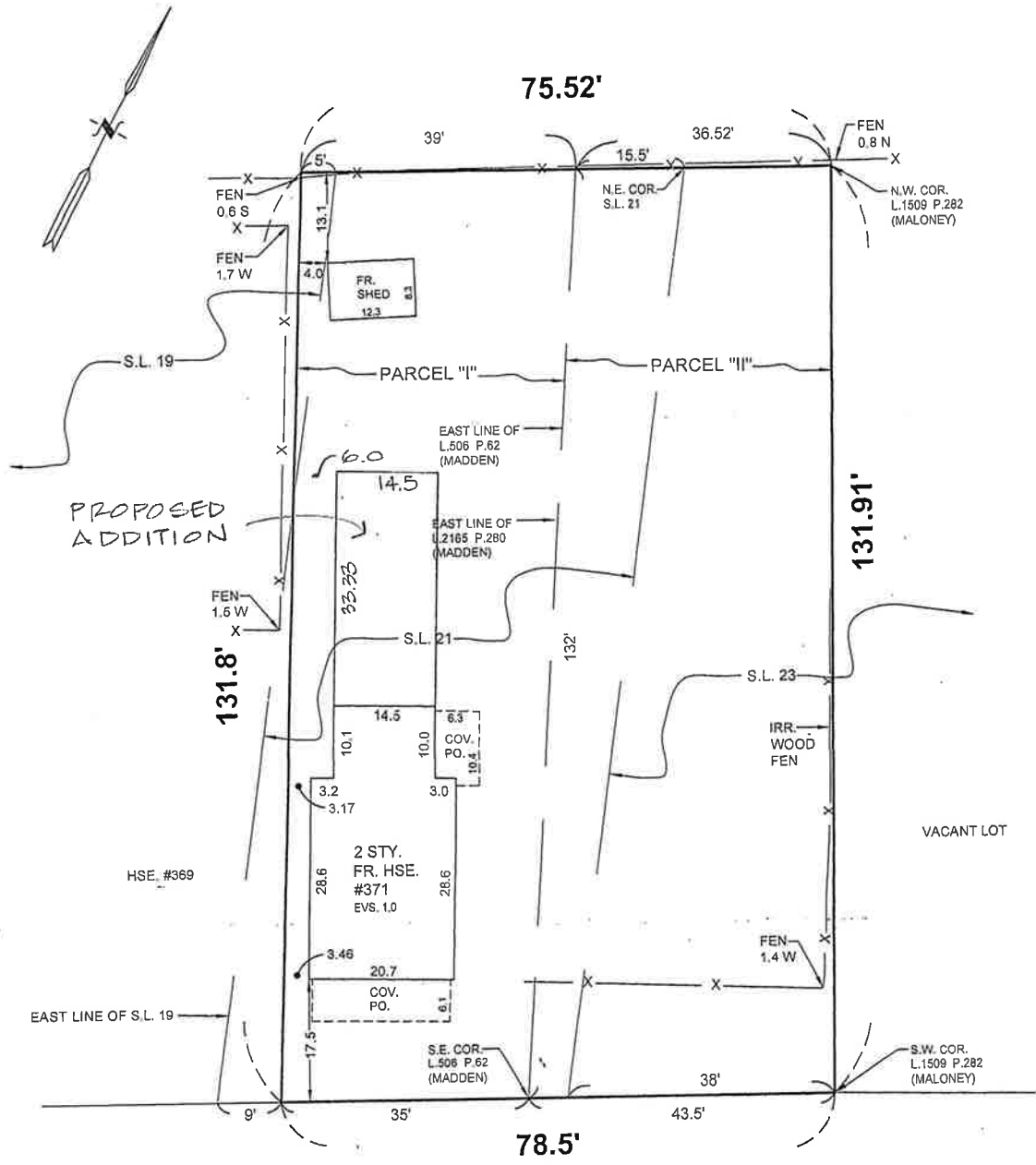


NORTHWEST ELEVATION



SOUTHWEST ELEVATION

<p>NODINE</p>		<p>DATE: 10/1/07</p>	<p>PROJECT NO.:</p>
<p>NO. OF SHEETS</p>	<p>371 E. UNION ST</p>	<p>NO. OF SHEETS</p>	<p>JOB NO.</p>
<p>DATE</p>	<p>LOAN NO.</p>	<p>NO. OF SHEETS</p>	<p>040</p>
<p>ELEVATIONS</p>	<p>10/2</p>	<p>NO. OF SHEETS</p>	<p>10/2</p>



EAST UNION (60' WIDE) ST.

NOTE: ±2' SNOW & ICE COVER

NOTE: THIS SURVEY MAP IS VALID ONLY FOR THE DATED INTENT. MAP IS NOT VALID AND VOIDS ALL LIABILITY WITH UNAUTHORIZED REPRODUCTION, ALTERATION AND/OR ADDITION TO THIS SURVEY MAP. IT IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN UPDATED ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.

<p>© 2021 Landmark Land Surveying Co. All Rights Reserved</p> <p>LANDMARK LAND SURVEYING CO. TM</p> <p>PO Box 182 · Sanborn, NY 14132</p> <p>Niagara County (716) 731-4080 > Fax (716) 731-4499 Erie County (716) 854-6338</p>	<p align="center"><i>Successor to the Records of:</i></p> <ul style="list-style-type: none"> Newton Land Surveying..... Est. 1995 Wilson, M.F. Est. 1989 Newton, W.J. Est. 1960 Poyer, F.J. Est. 1956 Covey, J. E. Est. 1955 Richards, E.S. Est. 1955 Basinski, I.S. Est. 1950 Devlin, J. Est. 1945 Kußer, A.S. Est. 1922 Houliston, G. Est. 1904 <p align="center"><i>Residential & Commercial Licensed in the State of New York and Florida</i></p>		<p>THIS MAP VOID UNLESS EMBOSSED WITH NYSPLS SEAL 48969</p>
	<p>CITY OF LOCKPORT COUNTY OF NIAGARA NEW YORK</p> <p>PART OF LOT- 5 SEC. 15 TOWNSHIP- 14 RANGE- 6 HOLLAND LAND CO.</p> <p>PARTS OF S.L.'s 19, 20 & 23 MFMBK. 10 P. 981</p>	<p>SCALE 1" = 20'</p> <p>JOB # 2220111</p> <p>DATE : 01/25/2022</p>	



Building Inspection Department

Jason Dool
Chief Building Inspector

Lockport Municipal Building
One Locks Plaza
Lockport, NY 14094
Phone (716) 439-6759
Fax (716) 439-6605

NOTICE OF PUBLIC HEARING

Case No. 2374

May 11, 2026

Megan Brewer

Dear Sir or Madam:

An Appeal under the Zoning Ordinance as applied to the property at 82 Outwater Drive, Lockport, New York, had been filed by Jeff Lesser.

The request is for a variance to install an 11.61 KW roof mounted solar array situated in a Medium Density Residential Zone.

Approval of the permit application was denied or withheld because the solar array will be larger than 10 KW.

The City of Lockport Zoning Ordinance allows a maximum 10 KW capacity for a roof mounted solar array.

A Public Hearing will be held by the Zoning Board of Appeals on **Tuesday, May 26, 2026 at 5:00 P.M.**, at the Lockport Municipal Building, One Locks Plaza, Lockport, New York, at which time you may appear, if you so desire, either in person or by agent or attorney.

The purpose of this Hearing is to give all affected property owners an opportunity to support or oppose the granting of this Appeal.

Supporting documentation for this case may be found on the City of Lockport website lockportny.gov.

LOCKPORT ZONING BOARD OF APPEALS
Megan Brewer

**CITY OF LOCKPORT, NEW YORK
ZONING BOARD OF APPEALS APPLICATION**

 AREA VARIANCE

 USE VARIANCE

It is the responsibility of the applicant to complete this form in its entirety, including all required attachments, and as precisely as possible. Failure to submit a complete application may result in a delay in being placed on a Zoning Board of Appeals agenda or a delayed decision from the Zoning Board.

PROPERTY ADDRESS: 82 Outwater Dr, Lockport, NY 14094

APPLICANT INFORMATION

NAME: NYS Essential Power Inc. ADDRESS: [REDACTED] Drive,
PHONE: [REDACTED] Ronkonkoma NY 11779
CITY STATE ZIP
FAX: _____ E-MAIL: [REDACTED]

OWNER INFORMATION

NAME: Joshua Wilson ADDRESS: 82 Outwater Dr,
PHONE: [REDACTED] Lockport NY 14094
CITY STATE ZIP
FAX: _____ E-MAIL: [REDACTED]

RELATIONSHIP OF APPLICANT TO PROPERTY:

 CONTRACT PURCHASER CONTRACTOR OTHER
 ARCHITECT/ ENGINEER LESSEE

OFFICE USE ONLY

RECEIVED BY: _____ DATE/TIME RECEIVED: _____
FEE AMOUNT: _____ CHECK/MONEY ORDER#: _____
ZONING: _____ FEE TRANSMITTAL DATE: _____
AGENDA DATE: _____ DEADLINE DATE: _____
COUNTY TAX MAP IDENTIFICATION NUMBER: _____

BRIEF HISTORY OF PROPERTY (historic use of property, ownership history, etc.)

Residential-1family purchased by the current owner in 2016

DESCRIPTION OF PROPOSED ACTION (include specific use proposed, hours, # of employees, etc.)

Install residential roof-mounted PV solar system of (27) solar modules & (27) micro-inverters.

DC size: 11.61KW

8 hours - 10 workers

VARIANCE STANDARDS (USE VARIANCE)

Applications for use variances must be based on alleviating a clearly demonstrable hardship, as opposed to a special privilege of convenience sought by the owner. Furthermore, the hardship must be peculiar to the land or building and must not generally apply to land throughout the neighborhood. An example of a property that may potentially have a case for a used variance is a corner store in a predominantly residential neighborhood. If the building has large plate glass windows, a parking lot and loading docks in the rear, it would be extremely costly to convert the building to residential uses to comply with existing zoning regulations.

VARIANCE STANDARDS (AREA VARIANCE)

Applications for area variances must be based on some extraordinary topographic condition or other physical condition inherent in the parcel (for example: exceptional narrowness, shallowness, shape or area). This condition must prohibit or unreasonably restrict the use of the land and/or building. One example of special condition: A utility right-of-way cutting through the rear half of several properties within a larger neighborhood limiting the buildable area of those properties, thereby requiring variances for rear and side yard setbacks for those particular property owners to construct new garages or sheds.

DESCRIPTION OF HARDSHIP (describe the features or conditions of the property that restrict reasonable use of the property under current zoning regulations)

The proposed roof-mounted PV solar system DC size is above 10KW

Describe how the requested variance will not alter the character of the larger neighborhood or impact adjacent properties:

The roof-mounted PV solar system will be installed on the customer's roof.

APPLICATION ATTACHMENTS

To ensure appropriate and timely review of the application, please provide the following additional documentation in support of the application. Failure to provide all of the applicable materials listed below may result in a delay in scheduling the application for review by the Zoning Board of Appeals.

- ___ \$150 application fee (cash or checks payable to the City of Lockport)
- ___ Detailed site plan (10 copies)
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- ___ Property survey (10 copies)

APPLICANT/OWNER AFFIRMATION

I, THE UNDERSIGNED, DO HEREBY AFFIRM THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE AND I FURTHER UNDERSTAND THAT INTENTIONALLY PROVIDING FALSE OR MISLEADING INFORMATION IS GROUNDS FOR IMMEDIATE DENIAL OF MY APPLICATION.

FURTHERMORE, I UNDERSTAND THAT I (OR A DESIGNATED REPRESENTATIVE) MUST BE PRESENT AT THE MEETING TO REPRESENT THE APPLICATION AND RESOND TO ANY QUESTIONS FROM THE ZONING BOARD OF APPEALS MEMBERS.

Signature (Applicant)

5/4/2026

Date

IF APPLICANT IS NOT THE OWNER OF RECORD FOR SUBJECT PARCEL:

I, THE UNDERSIGNED, HEREBY AFFIRM THAT I AM THE OWNER OF RECORD FOR THE SUBJECT PARCEL AT THE TIME OF APPLICATION. FURTHERMORE, I AM FAMILIAR WITH THE REQUEST BY THE APPLICANT AND AUTHORIZE SAID APPLICANT TO REPRESENT THE INTEREST OF THE OWNER (S) IN FURTHERANCE OF THE REQUEST.

Joshua Wilson

Signature (Owner)

5/4/2026

Date

Regular meetings of the Zoning Board of Appeals are generally held on the 4th Tuesday of every month. The meetings are held at 5:00 P.M. in the Common Council chambers on the first floor of City Hall. Applicants will receive a reminder notice in the mail prior to the meeting.

Pursuant to Section §190-188(d) of the City of Lockport Zoning Ordinance, property owners within a 200' radius will be notified of the intent of the applicant and given an opportunity to speak for or against the application.

CITY OF LOCKPORT
BUILDING INSPECTION DEPARTMENT

ONE LOCKS PLAZA

PHONE-439-6754

FAX-439-6605

BUILDING PERMIT APPLICATION FOR
GENERAL CONSTRUCTION

Job Location: 82 Outwater Dr, Lockport, NY 14094 Date: 04/29/2026

Owner: Joshua Wilson Address (if different): _____

Phone: [REDACTED] City: Lockport Zip: 14094

Construction Cost: \$19,700

Description of work: Install residential roof mounted PV solar System of (27) solar modules & (27) micro-inverters

DC Size: 11.61 KW

Contractor(s): NYS Essential Power, Inc.

Please Attach the Following:
(New Construction only)

- Property survey that is current and accurate
- 2 sets of plans for new construction
- Setback dimensions (front, rear and all sides)
- Sketch if altering interior dimensions
- Locations of the proposed structures

The Owner/ Applicant agrees to conform to all applicable laws of this jurisdiction, adhere to the plans and specifications affixed hereto and permit Building Department personnel to perform required inspections.

Applicant's Name:(if different than owner) Sean Deptula (attach letter of agency)

Owner/ Applicant Signature:  Date: 04/29/2026

Tom Petersen

Architects • Planners

Construction Official
Building Department for project at:
82 Outwater Drive
Lockport, NY 14094

March 27, 2026

Re: Solar Panel Installation
Wilson Residence
82 Outwater Drive
Lockport, NY 14094

Dear Sirs,

I've reviewed the proposed solar panel installation at this location to evaluate the existing roof structure and the connection of the panels to the roof.

Criteria: Applicable codes: 2025 Residential Code of New York State
2024 Wood Frame Construction Manual
Design roof load: 50 psf live load, 10 psf dead load, 60 psf total load
Design wind load: 115 mph

My findings are as follows.

1. The new solar panels will imply an additional dead load of 3 psf. The existing roof structure (2x6 roof rafters @ 16" o.c., no ridge, span = +/- 8'-10") is minimally insufficient to bear this additional load. In order to supplement the existing structure we will add new 2x4 collar ties to each existing rafter, at the roof planes receiving new solar panels. Inaccessible, assumed or concealed structural members that were not documented during the initial site analysis will be verified by the system installer prior to the system installation, and any discrepancies will be reported to the Architect in writing.
2. The solar panels are attached to the roof with the rack system, connectors and components as shown on the attached drawings. The rack system, roof connections and connection spacing are rated for 115 mph.

It is a violation of NYSED 7209 for any person, unless acting under the direction of a licensed professional, to alter an item in any way. If an item bearing the seal of a licensed professional is altered, the altering licensed professional must attach the notation 'altered by' with his seal, signature, date of alteration, and description of the alteration.

I therefore certify that this installation complies with the applicable codes and design loads mentioned above, as well as ASCE 7-2022, and is acceptable for approval. Please let me know if you have any questions on this information. Thanks!

Sincerely yours,



Tom Petersen

Cc: Lisa Gustam, Essential Power





ESSENTIAL POWER

13 Trade Zone Drive,
Ronkonkoma, NY
11779 Unit #13

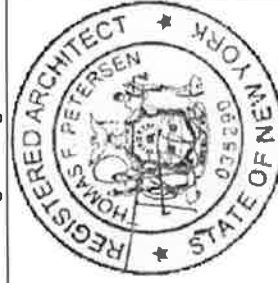
Customer Information
Joshua Wilson
Residence

82 Outwater Dr,
Lockport, NY 14094

DRAWN BY: PG
DATE: 4/26/2026

PAGE: 1, PROJECT SUMMARY

Engineering Seal:



SITE LAYOUT



GENERAL NOTE

THE SCOPE OF THIS PROJECT INVOLVES THE PLACEMENT OF SOLAR PANELS, WHICH WILL BE SECURED USING A PRE-DESIGNED RACKING SYSTEM, AFTER BEING ARRANGED ON THE RACKS. THE SOLAR MODULES WILL BE JOINED TOGETHER USING DC TO AC POWER INVERTERS, AND THEN LINKED TO THE LOCAL UTILITY THROUGH METHODS THAT COMPLY WITH THE REGULATIONS IMPOSED BY THE UTILITY AND THE JURISDICTION RESPONSIBLE FOR ISSUING PERMITS.

PROJECT DETAILS

ZONING	RESIDENTIAL
USE AND OCCUPANCY CLASSIFICATION	SINGLE FAMILY DWELLING
PERMITTING AUTHORITY	NYSEG
UTILITY COMPANY	
METER SERIAL NUMBER	
NEC VERSION	2023 NEC (NFPA 70)
FIRE CODE	2025 NYS RESIDENTIAL CODE, IBC 2024

DIRECTORY OF PAGES

PV - 1	TITLE PAGE
PV - 2	SITE PLAN
PV - 3	ATTACHMENT PLAN
PV - 4	3-LINE DIAGRAM
PV - 5	SAFETY LABELS
PV - 6	DATASHEETS
	INVERTER DATASHEET
	MOUNTING SYSTEM DATASHEET
	PANEL DATASHEET

INTERCONNECTION DETAILS

POINT OF CONNECTION	LINE SIDE I AC CONNECTION PER NEC ARTICLE 705.12(E)
UTILITY SERVICE	120 / 240 V
ELECTRICAL PANEL	MAIN SERVICE PANEL W/TOP-FED 150A BUSBAR, 150A MAIN BREAKER
SITE DETAILS	
ASHRAE EXTREME LOW	-4° F
ASHRAE 2% HIGH	86° F
CLIMATE DATA SOURCE	TMY3
WIND SPEED	115MPH
WIND EXPOSURE CATEGORY	B
GROUND SNOW LOAD	60 PSF

SYSTEM DETAILS

DESCRIPTION	NEW GRID-INTERACTIVE PHOTOVOLTAIC SYSTEM WITH NO BATTERY STORAGE
DC RATING OF SYSTEM	11,610 W
AC RATING OF SYSTEM	9,882 W
INVERTER(S)	27 Q.MI.349B-G1 (240 V)
INVERTER TYPE	MICRO INVERTER
MODULE	27 Q. TRON BLK M-G2.C1 430



ESSENTIAL POWER

13 Trade Zone Drive,
Ronkonkoma, NY
11779 Unit #13

Customer Information

Joshua Wilson
Residence

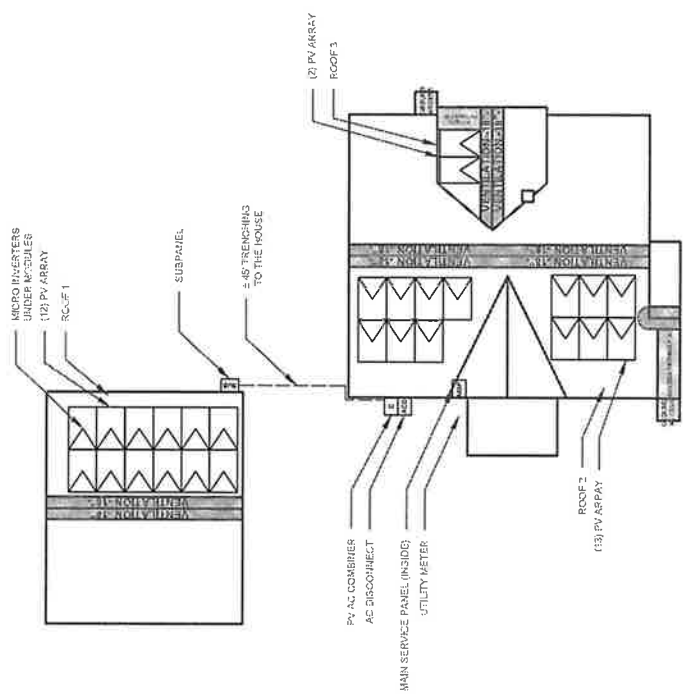
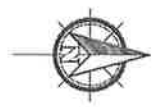
82 Outwater Dr,
Lockport, NY 14094

DRAWN BY: P3

DATE: 4/26/2018

PAGE: 2, SITE PLAN

Engineering Seal:



SCALE 3/32" = 1'-0"

FRONT OF HOUSE, FACING STREET

R124.4 ROOF ACCESS AND PATHWAYS - ROOF ACCESS, PATHWAYS, AND SETBACK REQUIREMENTS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R124.4.1 THROUGH R124.4.2.1. ACCESS AND MINIMUM SPACING SHALL BE REQUIRED TO PROVIDE EMERGENCY ACCESS TO SPECIFIC AREAS OF THE ROOF, FROM FIRE VENTILATION OPPORTUNITY AREAS, AND TO PROVIDE EMERGENCY EGRESS FROM THE ROOF.

EXCEPTIONS:
1. DETACHED, UNINHABITABLE STRUCTURES, INCLUDING BUT NOT LIMITED TO DETACHED GARAGES, PARKING SHADE STRUCTURES, CARPORTS, SOLAR TRELLISES AND SIMILAR STRUCTURES, SHALL NOT BE REQUIRED TO PROVIDE ROOF ACCESS, PATHWAYS, AND SETBACKS.
2. THESE REQUIREMENTS SHALL NOT APPLY TO ROOFS WITH SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (17 PERCENT SLOPE) OR LESS.

(M) R124.4.1 PATHWAYS - NOT FEWER THAN TWO PATHWAYS, ON SEPARATE ROOF PLANES FROM LOWEST ROOF EDGE TO RISE AND NOT LESS THAN 36 INCHES (914 MM) WIDE, SHALL BE PROVIDED ON ALL BUILDINGS. NOT FEWER THAN ONE PATHWAY SHALL BE PROVIDED ON THE STREET OR DRIVEWAY SIDE OF THE ROOF. FOR EACH ROOF PLANE WITH A PHOTOVOLTAIC ARRAY, A PATHWAY NOT LESS THAN 36 INCHES WIDE (914 MM) SHALL BE PROVIDED FROM THE PERIMETER OF THE PHOTOVOLTAIC ARRAY TO THE EDGE OF THE ROOF. PATHWAYS SHALL BE LOCATED IN AREAS WITH MINIMAL OBSTRUCTIONS, SUCH AS VENT PIPES, COSSUITS, OR MECHANICAL EQUIPMENT. PATHWAYS ON OPPOSING ROOF SLOPES SHALL NOT BE LOCATED ALONG THE SAME PLANE AS THE TRUSS, RAFTER, OR OTHER SUCH FRAMING SYSTEM THAT SUPPORTS THE PATHWAY.

EXCEPTIONS: ACCESS PATHWAYS SHALL NOT BE REQUIRED ON ROOF SLOPES CONTAINING PHOTOVOLTAIC MODULES, PANELS, OR AN ARRAY WHERE THE OPPOSING OR ADJACENT ROOF RIMLINE IS AN ACCESS ROOF.

(N) R124.4.2 SETBACK AT RIDGE - PHOTOVOLTAIC ARRAYS SHALL NOT BE LOCATED LESS THAN 18 INCHES (457 MM) FROM A HORIZONTAL RIDGE.

GENERAL NOTES

- 1 THE CONTRACTOR SHALL USE ONLY COMPONENTS LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY FOR THE INTENDED USE.
- 2 THE CONTRACTOR IS ACCOUNTABLE FOR PROVIDING ALL NECESSARY EQUIPMENT, CABLES, ADDITIONAL CONDUITS, SIZES, TRACINGS, AND OTHER MATERIALS TO COMPLETE THE SYSTEM IN FULLY FUNCTIONAL AND OPERATIONAL PV SYSTEM.
- 3 EQUIPMENT LIKELY TO BE WORKED UPON WHILE THE SYSTEM IS OPERATIONAL SHALL BE MARKED WITH SAFETY BARRIERS AND WORKING CLEARANCES PER NEC 110.26.
- 4 THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL COMPLY WITH THE INSTALLATION GUIDELINES AND COMPLY WITH THE PERTINENT CODES AS STATED BY THE AUTHORITY HAVING JURISDICTION (S) (S) AS RELEVANT TO THE PROJECT.
- 5 IF A DC PV SOURCE OR DC PV OUTPUT CIRCUITS ARE LOCATED IN AN UNFINISHED SPACE, THE SOURCE OR CIRCUIT SHALL BE PROTECTED BY METAL-CLAD CABLE OR METAL ENCLOSURES FROM THE POINT OF ENTRY INTO THE FINISHED UP TO THE POINT OF ENTRY INTO THE FINISHED AREA. THE ENCLOSURES SHALL BE ACCESSIBLE AS PER NEC 800.31(B).



ESSENTIAL POWER

13 Trade Zone Drive,
Ronkonkoma, NY
11779 Unit #13

Customer Information

Joshua Wilson
Residence

82 Outwater Dr,
Lockport, NY 14094

DRAWN BY: PD

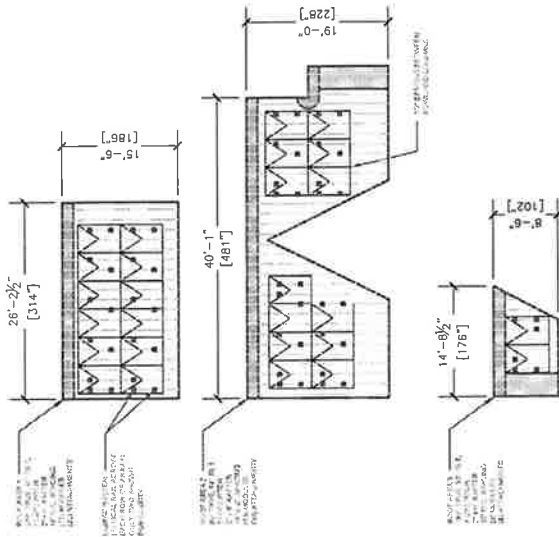
DATE: 4/28/2025

PAGE: 3. ATTACHMENT PLAN

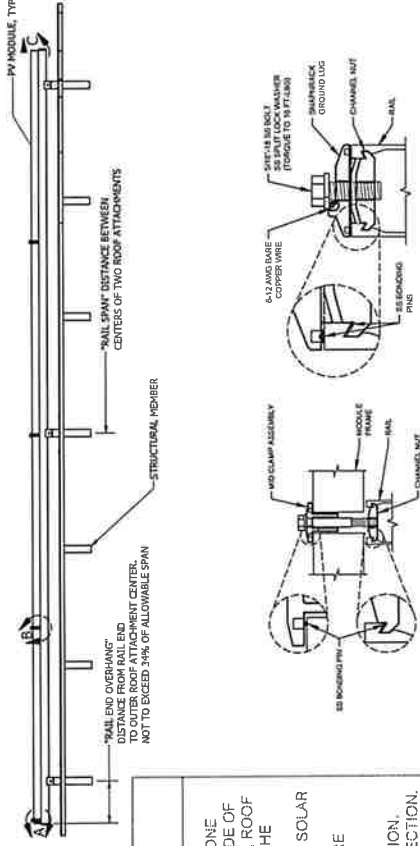
Engineering Seal:



ROOF STRUCTURE	
RAFTER / SPACING:	2"x6" @ 16" o.c.
SHEATHING:	PLYWOOD
COLLAR TIES:	N/A
TYPE / LAYERS:	Comp Shingle
NOTES:	need to add 1/8" x 3/4" cedar ties, for the garage plus, using 1/2" x 2"x6" made and shiplast panels.



SCALE 3/32" = 1'-0"



NOTE

- AN 18" WIDE CLEARING (FREE OF SOLAR EQUIPMENT) SHALL BE PROVIDED ALONG AT LEAST ONE SIDE OF THE ROOF RIDGE ON THE SAME SIDE AS THE SOLAR EQUIPMENT OR ON ANOTHER SIDE OF THE RIDGE THAT DOES NOT HAVE SOLAR EQUIPMENT ON IT. SUFFICIENT ACCESS PATHWAYS, ROOF ACCESS POINTS, AND GROUND ACCESS AREAS SHALL BE PROVIDED IN ACCORDANCE WITH THE 2020 NYS RESIDENTIAL CODE.
- ROOF SHALL HAVE NO MORE THAN A SINGLE LAYER OF ROOF COVERING IN ADDITION TO THE SOLAR EQUIPMENT.
- INSTALLATION OF SOLAR EQUIPMENT SHALL BE FLUSH-MOUNTED, PARALLEL TO AND NO MORE THAN 6-INCHES ABOVE THE SURFACE OF THE ROOF.
- WEIGHT OF THE INSTALLED SYSTEM SHALL NOT EXCEED MORE THAN 5-PSF.
- ANY PLUMBING VENTS ARE NOT TO BE CUT OR COVERED FOR SOLAR EQUIPMENT INSTALLATION. ANY RELOCATION OR MODIFICATION OF THE VENT REQUIRES A PLUMBING PERMIT AND INSPECTION.

THIS PV SYSTEM HAS BEEN DESIGNED TO MEET THE MINIMUM DESIGN STANDARDS FOR BUILDING AND OTHER STRUCTURES OF THE ASCE 7-16, 2020 NYS RESIDENTIAL CODE.



ESSENTIAL POWER

13 Trade Zone Drive,
Ronkonkoma, NY
11779 Unit #13

Customer Information

Joshua Wilson
Residence

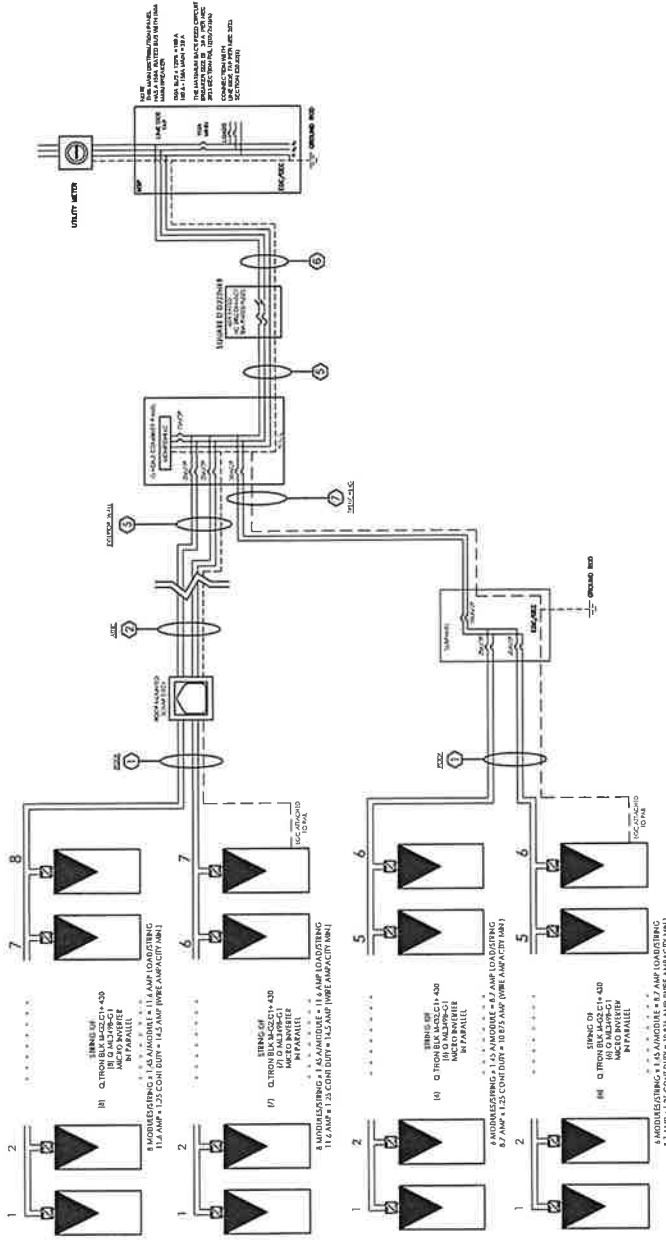
82 Outwater Dr,
Lockport, NY 14094

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DATE: 4/28/2025

PAGE: 4, LINE DIAGRAM

Engineering Seal:



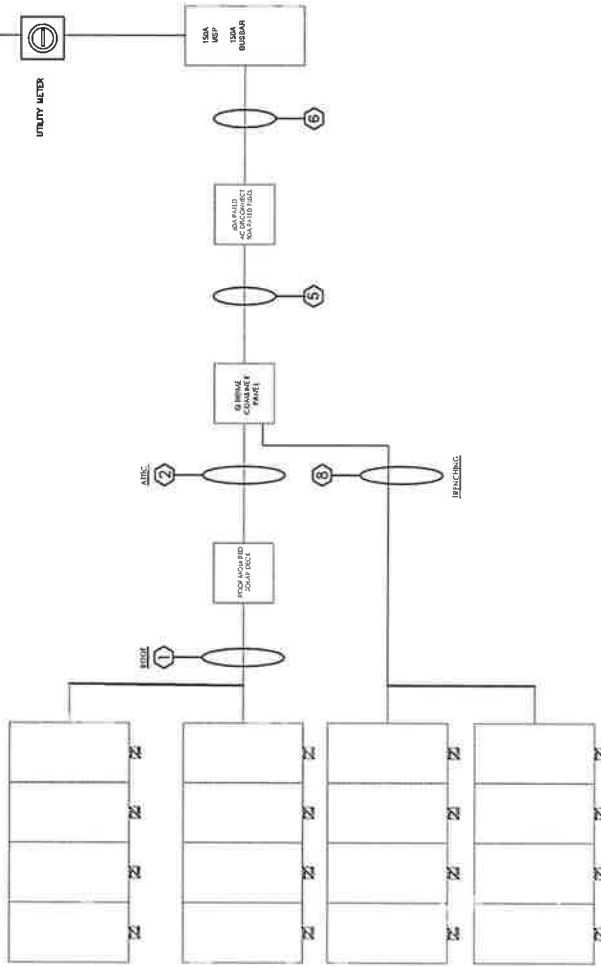
CONDUIT AND CONDUCTOR SCHEDULE

TAG	CONDUCTOR TYPE	CONDUCTOR R GAUGE	NUMBER OF CONDUCTORS	CONDUIT TYPE	CONDUIT SIZE	RUN LENGTH
1	ENPHASE Q-CABLE	12	4	N/A	N/A	120'-0"
	BARE COPPER GND IN FREE AIR	6	1	N/A	N/A	95'-0"
2	THHN	10	4	LFMC & PVC	1"	40'-0"
	BARE COPPER GND IN FREE AIR	6	1	PVC SCH. 40	1"	35'-0"
3	THHN	10	2	LFMC & PVC	1"	40'-0"
4	THHN	10	4	PVC SCH. 40	1"	25'-0"
	EGC	10	1	PVC SCH. 40	1"	25'-0"
5	THHN	6	3	PVC SCH. 40	1"	20'-0"
	EGC	6	1	PVC SCH. 40	1"	20'-0"
6	THHN	6	3	PVC SCH. 40	1"	20'-0"
	EGC	6	1	RMC	1"	20'-0"
7	THHN	10	3	PVC SCH. 40	1"	20'-0"
	EGC	10	1	RMC	1"	20'-0"

GENERAL NOTES

- ALL MODULES SHALL BE GROUNDED IN ACCORDANCE WITH CODE AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS
- ALL PV EQUIPMENT SHALL LISTED BY RECOGNIZED TESTING LAB
- WHEN A SURGE FEED BREAKER IS METHOD OF UTILITY INTERCONNECTION, BREAKER SHALL NOT BE ON LINE AND LOCK
- WHEN A BACK FEED BREAKER IS METHOD OF UTILITY INTERCONNECTION, THE BREAKER SHALL BE INSTALLED AT THE OPPOSITE END OF THE BUS BAR OF THE MAIN BREAKER
- IF PERMISSIBLE, ALL ELECTRICAL EQUIPMENT SHALL BE MAINTAINED PER NEC 110.25(A)(1), 110.25(A)(2), 110.25(A)(3)
- ALL EXTERIOR CONDUITS, FITTINGS AND BOXES SHALL BE RAIN TIGHT AND BE MIN. NEMA 3R RATED
- AC AND DC GROUNDING CONDUCTORS PER NEC ARTICLE 100-42(A) THROUGH (F) CONNECTED AS PER 600-51(A), 600-51(B) AND SIZED PER 250.112
- PROVIDE DRAINAGE JOISTS AND ANCHORING OF ALL CONDUIT RUNS AS PER NEC REQUIREMENTS
- PROVIDE LABEL PLACING UTILITY CONNECTION WITH "WARNING - CUSTOMER OWNED ELECTRICAL GENERATION EQUIPMENT CONNECTED" WITH APPROPRIATE HAZARD AND OUTPUT RATING OF PV SYS TEN.

11,610 WDC
9,882 W AC



(M) 0.750 IN DIA. (20.32 CM) 1500 AMP
MILWAUKEE
IN PARALLEL

(N) 0.750 IN DIA. (20.32 CM) 1500 AMP
MILWAUKEE
IN PARALLEL

(H) 0.750 IN DIA. (20.32 CM) 1500 AMP
MILWAUKEE
IN PARALLEL

(H) 0.750 IN DIA. (20.32 CM) 1500 AMP
MILWAUKEE
IN PARALLEL

CONDUIT AND CONDUCTOR SCHEDULE

TAG	CONDUCTOR TYPE	CONDUCTOR R GAUGE	NUMBER OF CONDUCTORS	CONDUIT TYPE	CONDUIT SIZE	RUN LENGTH
1	EN PHASE G-CABLE	12	4	N/A	N/A	120'-0"
	BARE COPPER GND IN FREE AIR	6	1	N/A	N/A	35'-0"
2	THHN	10	4	LFMC & PVC	1"	40'-0"
	BARE COPPER GND IN FREE AIR	6	1	PVC SCH. 40	1"	35'-0"
3	THHN	10	2	LFMC & PVC	1"	40'-0"
4	THHN	10	4	PVC SCH. 40	1"	25'-0"
	EGC	10	1	PVC SCH. 40	1"	25'-0"
5	THHN	6	3	PVC SCH. 40	1"	20'-0"
	EGC	6	1	PVC SCH. 40	1"	20'-0"
*	THHN	6	3	PVC SCH. 40	1"	20'-0"
	GEC	6	1	RMC	1"	20'-0"
7	THHN	10	3	PVC SCH. 40	1"	20'-0"
	GEC	10	1	RMC	1"	20'-0"

GENERAL NOTES

1. ALL MATERIALS AND METHODS TO BE USED SHALL BE APPROVED BY THE ENGINEER AND THE MANUFACTURER FOR ALL APPLICATIONS.
2. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.
3. SPACING AND CLEARANCES SHALL BE AS SHOWN ON THIS DRAWING. ALL CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.
4. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.
5. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.
6. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.
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8. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.
9. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.



ESSENTIAL POWER

13 Trade Zone Drive,
Ronkonkoma, NY
11779 Unit #13

Customer Information
Joshua Wilson
Residence

82 Outwater Dr,
Lockport, NY 14094

DRAWN BY: PG
DATE: 4/29/2016
PAGE: 4, LINE DIAGRAM

Engineering Seal:





ESSENTIAL POWER

13 Trade Zone Drive,
Ronkonkoma, NY
11779 Unit #13

Customer Information

Joshua Wilson
Residence

82 Outwater Dr,
Lockport, NY 14094

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DATE: 4/28/2025
PAGE: 5. SAFETY LABELS

Engineering Seal:



LABELING NOTES	
1	ALL PLAQUES AND SIGNAGE REQUIRED BY 2017 NEC WILL BE INSTALLED AS REQUIRED
2	IT IS REQUIRED TO PLACE WARNING LABELS ON EACH DC RACEWAY EVERY 10 FEET, AS WELL AS WITHIN ONE FOOT OF EVERY TURN OR BEND, AND ONE FOOT ABOVE AND BELOW ANY PENETRATION OF ROOFCEILING ASSEMBLIES, WALLS, OR BARRIERS. THESE LABELS MUST CONTAIN THE MARKING "WARNING: PHOTOVOLTAIC POWER SOURCE", AND HAVE 3/8" TALL LETTERS. THE LABEL MUST BE REFLECTIVE WITH WHITE TEXT ON A RED BACKGROUND.
3	A PERMANENT PLAQUE OR DIRECTORY MUST BE INSTALLED TO INDICATE THE LOCATION OF THE SERVICE DISCONNECT MEANS, AND THE PHOTOVOLTAIC SYSTEM DISCONNECTING MEANS, IF THEY ARE NOT IN THE SAME LOCATION, THIS IS TO ENSURE COMPLIANCE WITH NEC 690.56(B).
4	LABELS WITH MARKING "SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN" SHALL BE LOCATED POINT-OF-INTERCONNECTION OR AT MAIN SERVICE DISCONNECT. THE LABEL SHALL HAVE 3/8" TALL LETTERS AND BE REFLECTIVE WITH WHITE TEXT ON A RED BACKGROUND.
5	IF THE INVERTERS ARE REMOTELY LOCATED FROM EACH DC PHOTOVOLTAIC SYSTEM DISCONNECTING MEANS, AC IS CONNECTING MEANS, AND MAIN SERVICE DISCONNECTING MEANS, THESE DIRECTORIES MUST SHOW THE LOCATION OF ALL AC AND DC PHOTOVOLTAIC SYSTEM DISCONNECTING MEANS IN THE BUILDING, IN ACCORDANCE WITH NEC 690.4(H).
6	ALL LABELS, WARNINGS, AND MARKINGS MUST FOLLOW ANSI Z535.4 REGULATIONS. THIS REQUIRES THE USE OF DANGER, WARNING, AND CAUTION SIGNS WITH STANDARD HEADER COLORS, HEADER TEXT, AND SAFETY ALERT SYMBOL ON EACH LABEL. THE ANSI STANDARD ALSO DEMANDS A HEADING THAT IS AT LEAST 50% TALLER THAN THE BODY TEXT, AS SPECIFIED BY NEC ARTICLE 110.21(B)1.
7	THE MATERIALS USED FOR MARKING MUST BE WEATHER RESISTANT, IN COMPLIANCE WITH CBC 511.3.1. IT IS RECOMMENDED THAT UL-969 BE USED AS STANDARD TO DETERMINE WEATHER RATING

SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

NEC ARTICLE 690.12(C)



SOLAR BREAKER (MSP) NEC ARTICLE 705.12(B)



ANY AC ELECTRICAL PANEL THAT IS FEED BY BOTH THE UTILITY AND THE PHOTOVOLTAIC SYSTEM (MSP) NEC ARTICLE 705.10



PLACED ON ALL INTERIOR AND EXTERIOR DC CONDUIT, RACEWAYS, ENCLOSURES, AND CABLE ASSEMBLIES AT LEAST EVERY 10 FEET 690.31(D)(2)



NEC ARTICLE 690.31(G)(3)



AT THE EACH DISCONNECTING MEANS FOR PHOTOVOLTAIC EQUIPMENT, NEC ARTICLE 705.20(7)



AT EACH DEVICE WHERE ENERGIZED, UNGROUNDED CIRCUITS MAY BE EXPOSED DURING SERVICE, NEC ARTICLE 690.13(B) AND 110.27

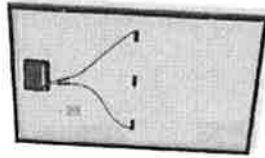


DC DISCONNECT



AC DISCONNECT, NEC ARTICLE 690.13 AND 110.21(B)

Solar Simplified.



acellis

Q.TRON AC

Q.TRON AC 150W-120V
Q.TRON AC 150W-240V
Q.TRON AC 150W-240V
Q.TRON AC 150W-240V



Q.TRON AC

AC module powered by
Q.ANTUM NEO Technology



Monitoring and Control

- The Q.ANTUM NEO App enables installers to monitor system performance at the module level, while the free-friendly Q.TRONMOND HOME App provides consumers with real-time PV production insights.



Streamlined Installation and Product Management

- Full installation enabled by plug-and-play interconnector
- Improved safety management enabled by reduced SAG currents and a compact size and MPE solution
- Emergency cut-off with Combi-resonant energy storage system to limit line over-voltage Q.HOPE SMART System



Superior Module Performance

- Q.TRON AC is powered by Q.ANTUM NEO Full Voltage boosting module efficiency up to 72.5% which results in more power production in even the best.



Top Quality Customer Support

- Make it a predictable, worry-free, long-term, hassle-free maintenance. Q.ANTUM offers customer support offers rapid System Issue Resolution.



Dependably Backed by One Warranty

- 25-year product and performance warranty with an integrated module and inverter warranty solution from acellis.



Includes Domestic Content

- Q.TRON AC ENERGY AC contains U.S. manufactured components which can contribute to qualifying for the 10% tax-credit content bonus for application investment and production tax credits.
- Make it a predictable, worry-free, long-term, hassle-free maintenance. Q.ANTUM offers customer support offers rapid System Issue Resolution.

Q.ANTUM NEO is a registered trademark of acellis. acellis is a registered trademark of acellis. acellis is a registered trademark of acellis.

acellis

Description

The Q.TRON AC is a high power AC module for residential systems. The module, with its integrated inverter, provides space-saving power output for residential systems. The module is designed for use in residential systems. The module is designed for use in residential systems.

Mechanical Specification

Form A
Weight: 6.2 lbs (2.8 kg)
Dimensions: 15.0" x 15.0" x 1.5"
Material: Aluminum
Finish: Anodized Aluminum
Mounting: Standard
Warranty: 25 Year
Temperature Range: -40°C to 60°C
Humidity: 95% RH
Vibration: 10g
Shock: 10g
EMC: CE Marked
Safety: UL 1741, IEC 62109-2, IEC 62109-3, IEC 62109-4, IEC 62109-5, IEC 62109-6, IEC 62109-7, IEC 62109-8, IEC 62109-9, IEC 62109-10, IEC 62109-11, IEC 62109-12, IEC 62109-13, IEC 62109-14, IEC 62109-15, IEC 62109-16, IEC 62109-17, IEC 62109-18, IEC 62109-19, IEC 62109-20, IEC 62109-21, IEC 62109-22, IEC 62109-23, IEC 62109-24, IEC 62109-25, IEC 62109-26, IEC 62109-27, IEC 62109-28, IEC 62109-29, IEC 62109-30, IEC 62109-31, IEC 62109-32, IEC 62109-33, IEC 62109-34, IEC 62109-35, IEC 62109-36, IEC 62109-37, IEC 62109-38, IEC 62109-39, IEC 62109-40, IEC 62109-41, IEC 62109-42, IEC 62109-43, IEC 62109-44, IEC 62109-45, IEC 62109-46, IEC 62109-47, IEC 62109-48, IEC 62109-49, IEC 62109-50, IEC 62109-51, IEC 62109-52, IEC 62109-53, IEC 62109-54, IEC 62109-55, IEC 62109-56, IEC 62109-57, IEC 62109-58, IEC 62109-59, IEC 62109-60, IEC 62109-61, IEC 62109-62, IEC 62109-63, IEC 62109-64, IEC 62109-65, IEC 62109-66, IEC 62109-67, IEC 62109-68, IEC 62109-69, IEC 62109-70, IEC 62109-71, IEC 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NXT UMount

DISCOVER NXT UMount

Introducing the United NXT UMount Solar Racking System – the culmination of over two decades of experience in the renewable energy industry. Built upon the pillars of thoughtful design, rigorous engineering, world-class support, and a reliable supply chain, the NXT UMount™ is truly the embodiment of the NXT level of design, simplicity, and value.

UNIRAC

BETTER SOLAR STARTS HERE

13 Trade Zone Drive,
Ronkonkoma, NY
11779 Unit #13



ESSENTIAL POWER

STANDARD 25 YEAR WARRANTY

UNIRAC

STANDARD 25 YEAR WARRANTY

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STANDARD 25 YEAR WARRANTY

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STANDARD 25 YEAR WARRANTY

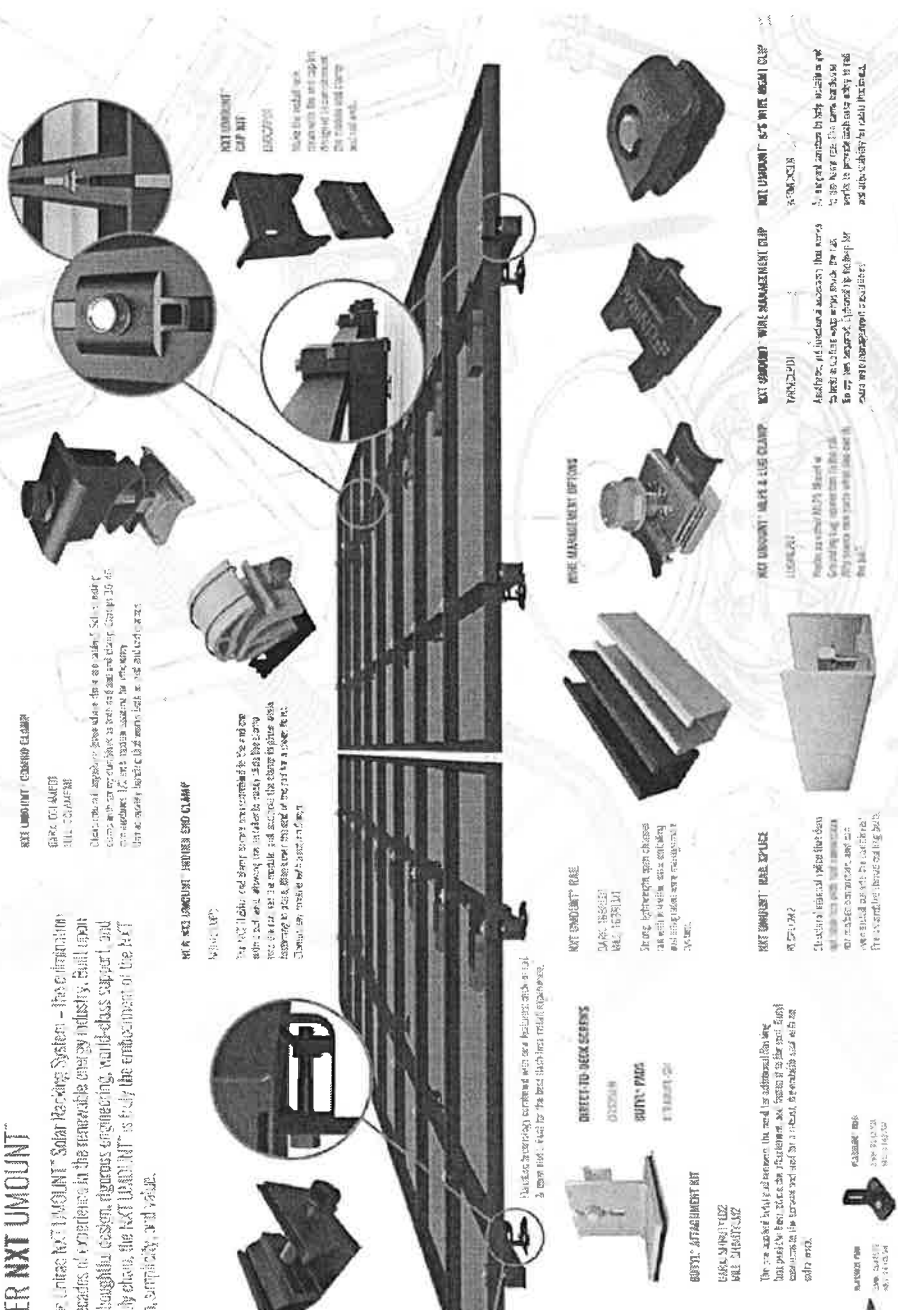
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STANDARD 25 YEAR WARRANTY

UNIRAC

STANDARD 25 YEAR WARRANTY

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SEE UMount END CLAMP

BACKSTAY

Backstay is used to secure the racking system to the roof structure. It is made of galvanized steel and is available in two lengths: 12' and 14'.

SEE UMount ATTACHMENT KIT

Attachment kit is used to secure the racking system to the roof structure. It is made of galvanized steel and is available in two lengths: 12' and 14'.

SEE UMount BACKSTAY

Backstay is used to secure the racking system to the roof structure. It is made of galvanized steel and is available in two lengths: 12' and 14'.

SEE UMount WIRE MANAGEMENT CLIP

Wire management clip is used to secure the racking system to the roof structure. It is made of galvanized steel and is available in two lengths: 12' and 14'.

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Customer Information

Joshua Wilson
Residence

82 Outwater Dr,
Lockport, NY 14094

DRAWN BY: PG
DATE: 4/10/2016
PAGE: 6 DATASHEETS

Engineering Seal:



FOR QUESTIONS OR CUSTOMER SERVICE VISIT UNIRAC.COM OR CALL 505-242-6411



ESSENTIAL POWER

13 Trade Zone Drive,
Ronkonkoma, NY
11779 Unit #13

Customer Information

Joshua Wilson
Residence

82 Outwater Dr,
Lockport, NY 14094

DRAWN BY: PG
DATE: 4/28/2016
PAGE: 6 OF 24 SHEETS

Engineering Seal:



Description
Q.HOME COMBINER is a combination of PV strings with a maximum of 48 AC Modules connected in a string in which the inverter is a common bus connection. Q.HOME COMBINER SMART provides a safe, secure, and reliable solution for residential applications.

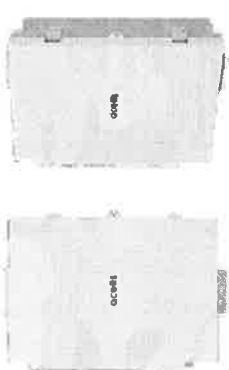
Technical Specification

Table with columns: GENERAL PRODUCT INFORMATION, ELECTRICAL SPECIFICATIONS, and COMMENTS. Includes details like Model, Voltage, Current, and Safety warnings.

Qualifications and Certifications



Solar Simplified.



Q.HOME COMBINER
Q-HOME COMBINER 50 SI

Q.HOME COMBINER

The Q.HOME SMART Residential Energy Solution Combiner Box

- Flexible: Network connectivity with Wi-Fi, Ethernet or Cellular
Consolidated: Supports 6-14 input of Solar or Solar + Storage
Streamlined: 2 slots spare CTS provided for consumption metering
Complete: Pack of Qcells' complete Q.HOME SMART solution
Reliable: 5-year warranty, Automatic firmware updates





Building Inspection Department

Jason Dool
Chief Building Inspector

Lockport Municipal Building
One Locks Plaza
Lockport, NY 14094
Phone (716) 439-6759
Fax (716) 439-6605

NOTICE OF PUBLIC HEARING

Case No. 2375

May 11, 2026

Megan Brewer

Dear Sir or Madam:

An Appeal under the Zoning Ordinance as applied to the property at 394 Lincoln Avenue, Lockport, New York, had been filed by Empire Solar Solutions.

The request is for a variance to install a 12.42 KW roof mounted solar array situated in a Low Density Residential Zone.

Approval of the permit application was denied or withheld because the solar array will be larger than 10 KW.

The City of Lockport Zoning Ordinance allows a maximum 10 KW capacity for a roof mounted solar array.

A Public Hearing will be held by the Zoning Board of Appeals on **Tuesday, May 26, 2026 at 5:00 P.M.**, at the Lockport Municipal Building, One Locks Plaza, Lockport, New York, at which time you may appear, if you so desire, either in person or by agent or attorney.

The purpose of this Hearing is to give all affected property owners an opportunity to support or oppose the granting of this Appeal.

Supporting documentation for this case may be found on the City of Lockport website lockportny.gov.

LOCKPORT ZONING BOARD OF APPEALS
Megan Brewer

BRIEF HISTORY OF PROPERTY (historic use of property, ownership history, etc.)

The property located at 394 Lincoln Ave., Lockport, NY 14094, has historically been used as a single-family residential dwelling. To the best of our knowledge, the property has remained residential in nature and has not undergone any significant change in use.

DESCRIPTION OF PROPOSED ACTION (include specific use proposed, hours, # of employees, etc.)

Proposed installation of a 12.42 kW roof-mounted residential solar system consisting of 27 REC 460W panels with one Powerwall 3 string inverter. The system will be mounted on the existing roof structure of the single-family dwelling. Installation is anticipated to take approximately one day (approximately 5 hours) and will involve a crew of three workers. No employees will remain on-site after installation. The system will serve only the residential property and will not change the use or character of the property.

VARIANCE STANDARDS (USE VARIANCE)

Applications for use variances must be based on alleviating a clearly demonstrable hardship, as opposed to a special privilege of convenience sought by the owner. Furthermore, the hardship must be peculiar to the land or building and must not generally apply to land throughout the neighborhood. An example of a property that may potentially have a case for a used variance is a corner store in a predominantly residential neighborhood. If the building has large plate glass windows, a parking lot and loading docks in the rear, it would be extremely costly to convert the building to residential uses to comply with existing zoning regulations.

VARIANCE STANDARDS (AREA VARIANCE)

Applications for area variances must be based on some extraordinary topographic condition or other physical condition inherent in the parcel (for example: exceptional narrowness, shallowness, shape or area). This condition must prohibit or unreasonably restrict the use of the land and/or building. One example of special condition: A utility right-of-way cutting through the rear half of several properties within a larger neighborhood limiting the buildable area of those properties, thereby requiring variances for rear and side yard setbacks for those particular property owners to construct new garages or sheds.

DESCRIPTION OF HARDSHIP (describe the features or conditions of the property that restrict reasonable use of the property under current zoning regulations)

The property is an existing single-family residential lot with limited roof planes suitable for solar installation due to orientation, pitch, and shading considerations. In order to maximize the usable roof area and provide efficient energy production for the residence, the proposed 12.42 kW system slightly exceeds the 10 kW zoning limit. Reducing the system size would significantly limit the property owner's ability to offset household electrical usage and achieve reasonable energy efficiency goals.

Describe how the requested variance will not alter the character of the larger neighborhood or impact adjacent properties:

The proposed solar installation is a roof-mounted residential system and will not alter the existing footprint of the home or require any structural expansion. The panels will be flush-mounted to the roof and will not be prominently visible from the street. The project does not introduce commercial activity, additional traffic, lighting, noise, or changes to drainage patterns. The use of the property will remain residential in nature. As such, the requested variance will not alter the character of the surrounding neighborhood or negatively impact adjacent properties.

APPLICATION ATTACHMENTS

To ensure appropriate and timely review of the application, please provide the following additional documentation in support of the application. Failure to provide all of the applicable materials listed below may result in a delay in scheduling the application for review by the Zoning Board of Appeals.

- ___ \$150 application fee (cash or checks payable to the City of Lockport)
- ___ Detailed site plan (10 copies)
- ___ Photographs of existing conditions
- ___ Property survey (10 copies)

APPLICANT/OWNER AFFIRMATION

I, THE UNDERSIGNED, DO HEREBY AFFIRM THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE AND I FURTHER UNDERSTAND THAT INTENTIONALLY PROVIDING FALSE OR MISLEADING INFORMATION IS GROUNDS FOR IMMEDIATE DENIAL OF MY APPLICATION.

FURTHERMORE, I UNDERSTAND THAT I (OR A DESIGNATED REPRESENTATIVE) MUST BE PRESENT AT THE MEETING TO REPRESENT THE APPLICATION AND RESPOND TO ANY QUESTIONS FROM THE ZONING BOARD OF APPEALS MEMBERS.



Signature (Applicant)

2/26/2026

Date

IF APPLICANT IS NOT THE OWNER OF RECORD FOR SUBJECT PARCEL:

I, THE UNDERSIGNED, HEREBY AFFIRM THAT I AM THE OWNER OF RECORD FOR THE SUBJECT PARCEL AT THE TIME OF APPLICATION. FURTHERMORE, I AM FAMILIAR WITH THE REQUEST BY THE APPLICANT AND AUTHORIZE SAID APPLICANT TO REPRESENT THE INTEREST OF THE OWNER (S) IN FURTHERANCE OF THE REQUEST.



Signature (Owner)

2/26/2026

Date

Regular meetings of the Zoning Board of Appeals are generally held on the 4th Tuesday of every month. The meetings are held at 5:00 P.M. in the Common Council chambers on the first floor of City Hall. Applicants will receive a reminder notice in the mail prior to the meeting.

Pursuant to Section §190-188(d) of the City of Lockport Zoning Ordinance, property owners within a 200' radius will be notified of the intent of the applicant and given an opportunity to speak for or against the application.

Susan Steward Residence

394 Lincoln Ave. Lockport, NY 14094



FRONT OF HOUSE

METER/GATEWAY,
COMBINER & MAIN
SERVICE PANEL

SOLAR ARRAY #2
8 REC 460W
PV PANELS
SEE SHEET 2 OF 4
FOR PANEL LAYOUT

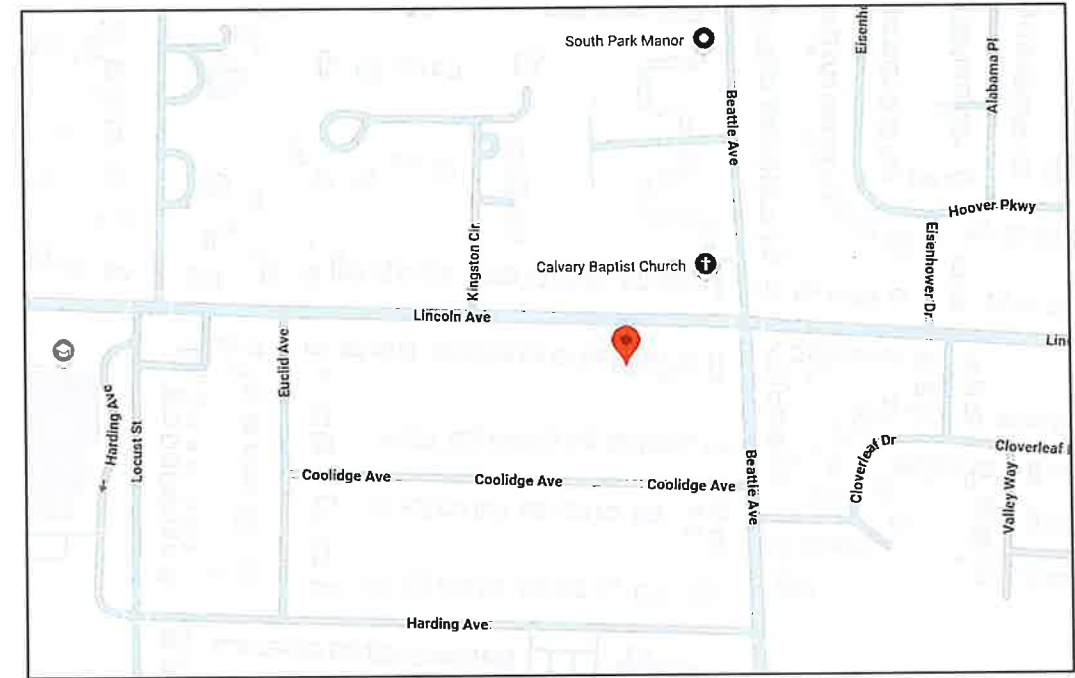
TESLA PW3

SOLAR ARRAY #3
3 REC 460W
PV PANELS
SEE SHEET 2 OF 4
FOR PANEL LAYOUT



SOLAR ARRAY #1
7 REC 460W
PV PANELS
SEE SHEET 2 OF 4
FOR PANEL LAYOUT

SOLAR ARRAY #4
9 REC 460W
PV PANELS
SEE SHEET 2 OF 4
FOR PANEL LAYOUT



ROOF PANEL LAYOUT PLAN:

NTS

AERIAL MAP:

NTS

SITE VERIFICATION NOTES:

1. PRIOR TO SUBMISSION TO MUNICIPALITY OF THE PLANS, THIS CONTRACTOR SHALL VISIT THE JOB SITE TO ASCERTAIN THE ACTUAL FIELD CONDITIONS AS THEY RELATE TO THE WORK INDICATED ON THE DRAWINGS AND DESCRIBED HEREIN. DISCREPANCIES, IF ANY, SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO SUBMISSION OF THE PLANS. SUBMISSION OF PLANS SHALL BE EVIDENCE THAT SITE VERIFICATION HAS BEEN PERFORMED AS DESCRIBED ABOVE.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF WORK. IF EXISTING CONDITIONS VARY FROM PLANS, THE CONTRACTOR SHALL STOP WORK AND NOTIFY PROJECT ENGINEER A.S.A.P. CONTRACTOR ASSUMES ALL RESPONSIBILITY AND LIABILITY THEREFROM.
3. THE OWNER/CONTRATOR SHALL OBTAIN ALL NECESSARY PERMITS, VERIFY ALL CONDITIONS, EXAMINE THE DESIGN DOCUMENTS AND BE RESPONSIBLE FOR ALL MEASUREMENTS, DIMENSIONS AND CONDITIONS.
4. COMMENCEMENT OF CONSTRUCTION WILL SIGNIFY THAT THE CONTRACTOR WILL HOLD THE DESIGN ENGINEER HARMLESS FOR ANY AND ALL ERRORS, OMISSIONS AND PERSONAL LIABILITY.

PROJECT DESIGN DATA:

WORK SHALL BE COMPLETED AS PER 2025 RESIDENTIAL CODE OF NEW YORK STATE NFPA 70, 2023 NATIONAL ELECTRICAL CODE AND 2018 WOOD FRAME CONSTRUCTION MANUAL LOAD CRITERIA AS FOLLOWS
 EXPOSURE CATEGORY: "B"
 GROUND SNOW LOAD: 50 PSF
 WIND SPEED: 120 MPH

GENERAL NOTES:

1. ALL SOLAR MODULES TO BE REC 460W AND SHALL BE INSTALLED AS PER REC INSTALLATION MANUAL.
2. ALL INVERTERS TO BE TESLA INVERTERS ALL RACKING TO BE IRON RIDGE AND ALL RACKING TO BE INSTALLED AS PER IRON RIDGE MANUFACTURERS SPECIFICATIONS.

RESIDENTIAL SOLAR PANEL INSTALLATION

LOCATED AT - 394 LINCOLN AVE. LOCKPORT, NY 14094

CITY OF LOCKPORT, NIAGARA COUNTY, NEW YORK



**SOLAR PANEL
INSTALLATION
STEWART
RESIDENCE**
 394 LINCOLN AVE.
 LOCKPORT, NY
 14094 - USA

REVISIONS NOTES

DWG. BY:	MEM	SCALE:	AS-NOTED
CHECKED BY:	MEM	PROJECT #:	ES-4524-26
DATE:	JANUARY 22, 2026	SBL #:	123.10-2-66
MUNICIPALITY:	CITY OF LOCKPORT	COUNTY:	NIAGARA

SYSTEM NOTES:

TOTAL SYSTEM SIZE:
 12.42KW DC SYSTEM / 11.5KW AC SYSTEM
 PANEL TYPE: REC 460W
 OF PANELS: 27
 INVERTER TYPE: TESLA (POWER WALL 3)
 OF INVERTERS: 1

ARRAY	#1	#2	#3	#4
AZIMUTH:	182	92	182	272
TILT:	19	19	19	19
# PANELS:	7	8	3	9

PROFESSIONAL NOTES:

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE ENGINEER SHALL NOT BE VALID

SEAL & SIGNATURE



DWG#

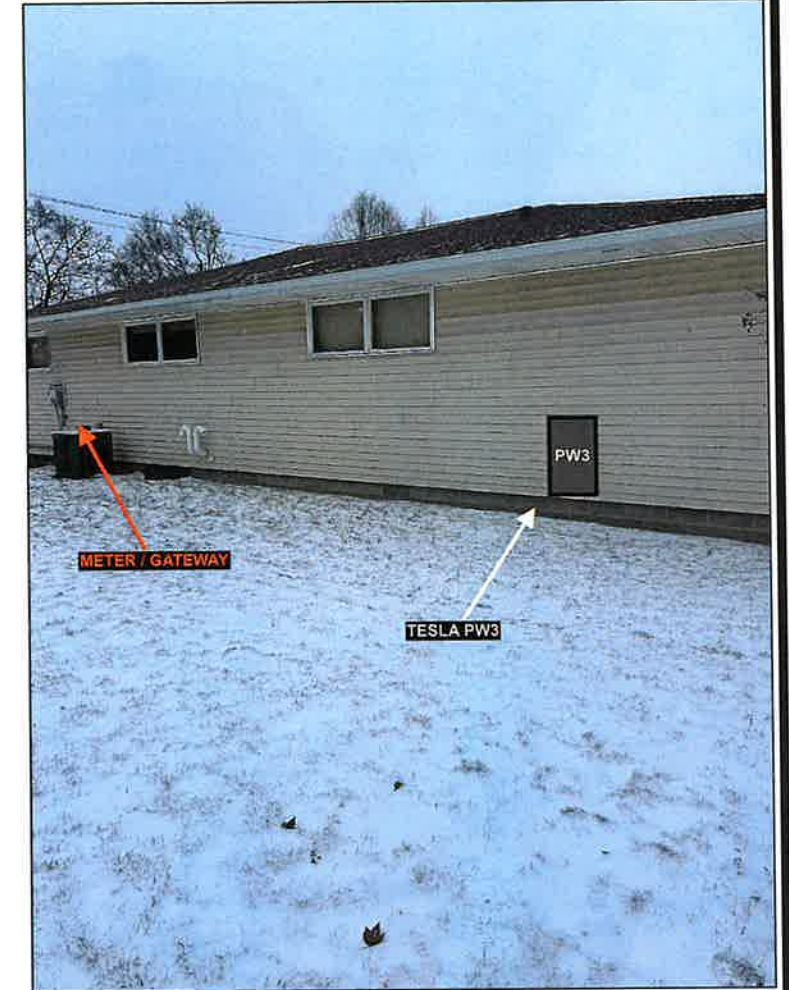
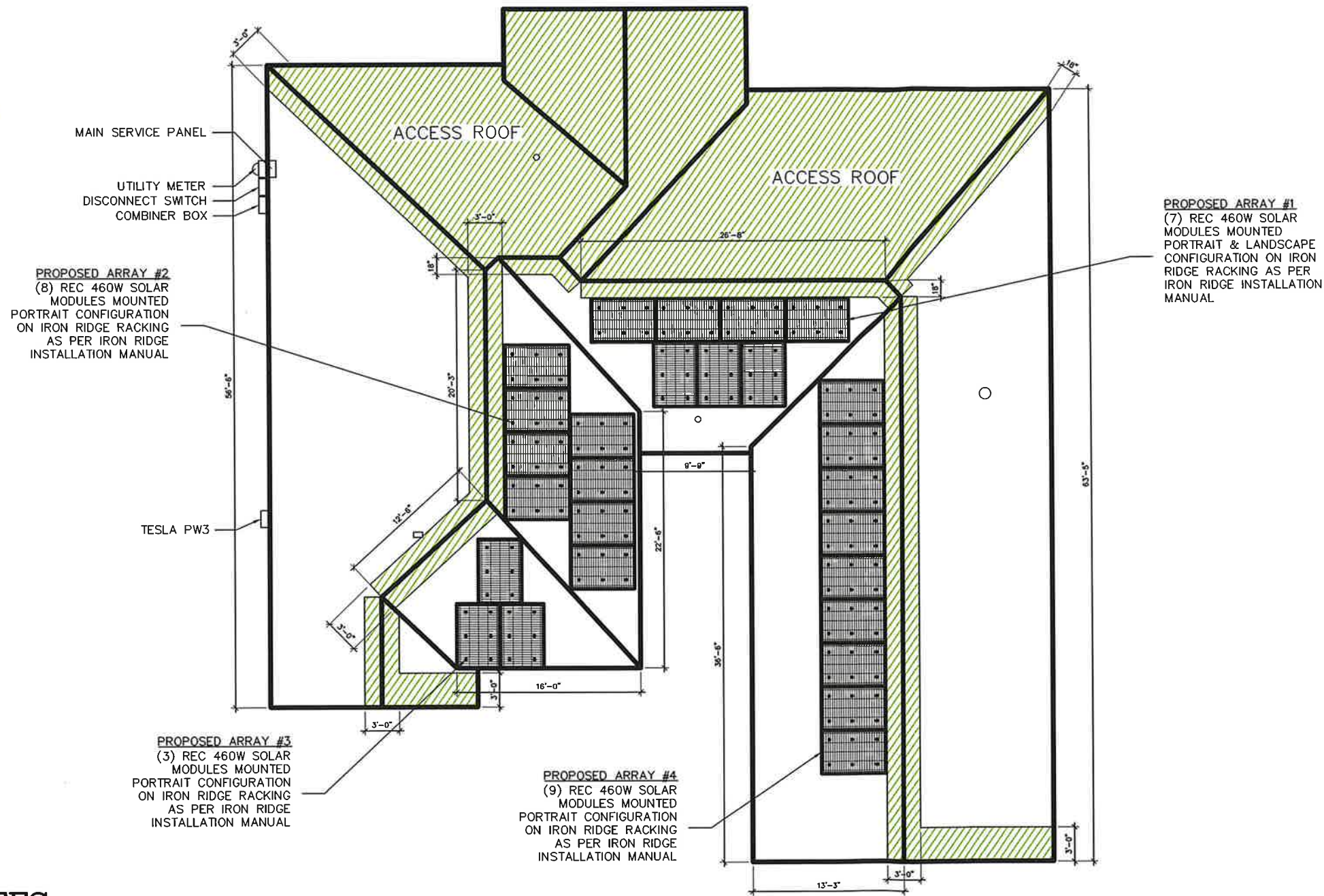
S-1

PROJECT
SITE PLAN
AND NOTES

DWG.

1 OF 4

FRONT OF HOUSE



TESLA PW3 LOCATION:

NOTES:

1. PER NFPA 855 - EQUIPMENT TO BE INSTALLED AT LEAST 3 FEET AWAY FROM DOORS AND/OR WINDOWS

ROOF PANEL LAYOUT:

FIRST RESPONDER ACCESS AS PER THE 2025 RESIDENTIAL CODE OF NEW YORK STATE SECTION R324.6 "ROOF ACCESS AND PATHWAYS"



SOLAR PANEL INSTALLATION STEWART RESIDENCE
 394 LINCOLN AVE.
 LOCKPORT, NY
 14094 - USA

REVISIONS NOTES

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CHECKED BY:	MEM	PROJECT #:	ES-4524-26
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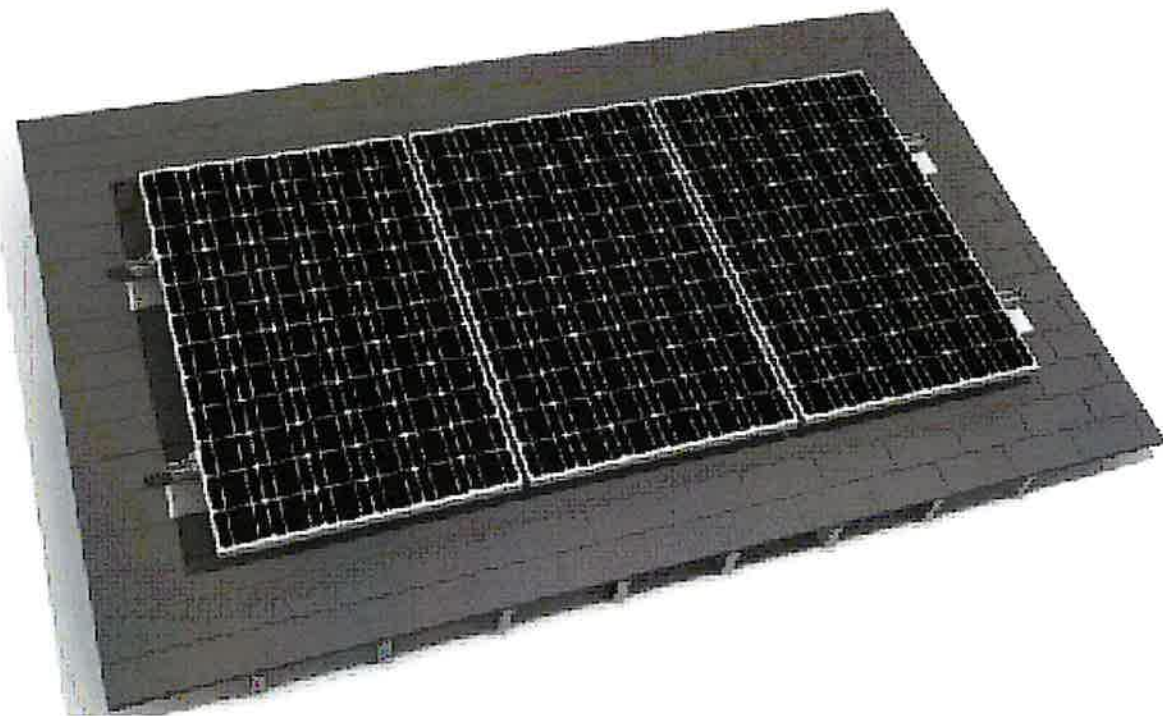
SEAL & SIGNATURE



DWG#

S-2
SOLAR
ROOF
LAYOUT
PLAN

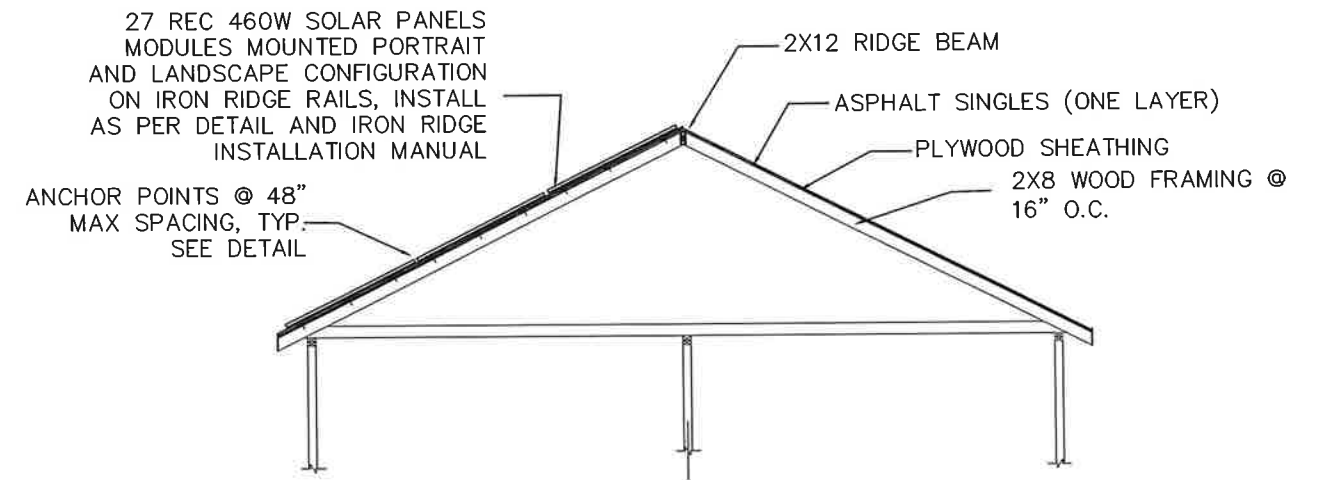
DWG.



IRON RIDGE RACKING

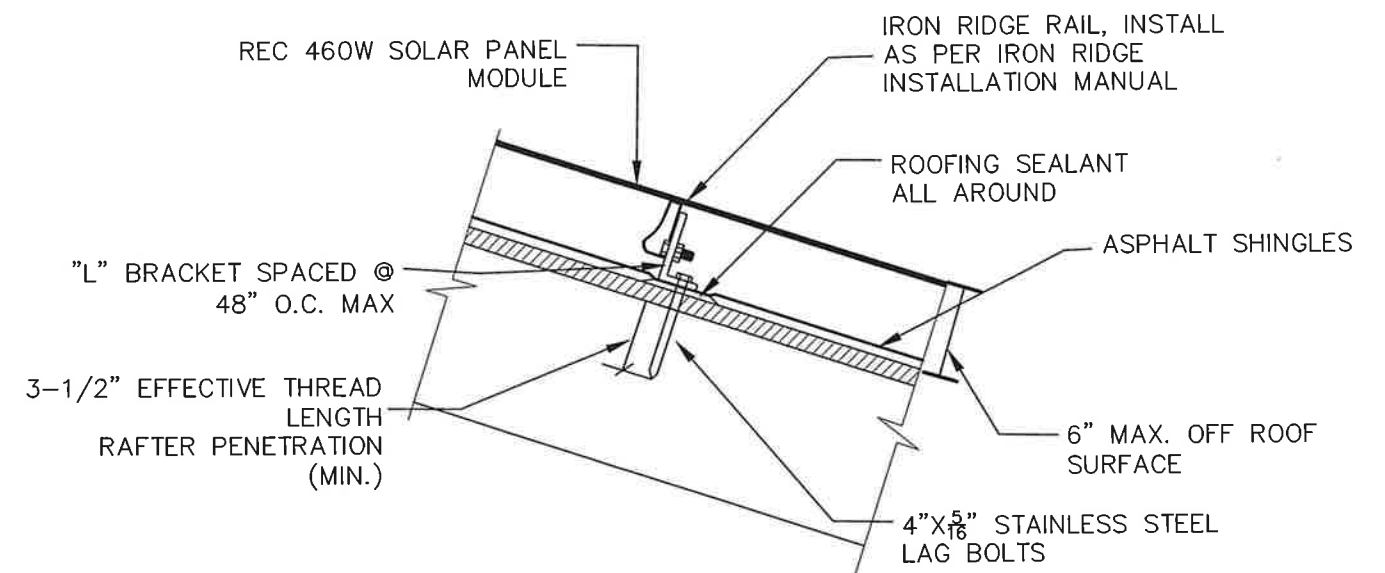
XRS Maximum Spans (feet)

Exposure	Wind Speed (mph)	0 psf Snow			10 psf Snow			20 psf Snow			30 psf Snow			40 psf Snow		
		Zone 1	Zone 2	Zone 3	Zone 1	Zone 2	Zone 3	Zone 1	Zone 2	Zone 3	Zone 1	Zone 2	Zone 3	Zone 1	Zone 2	Zone 3
Category B	90 mph	13.5	13.5	10.5	12.5	12.5	10.5	10.5	10.5	10.5	10.0	10.0	10.0	9.0	9.0	9.0
	100 mph	13.5	12.0	9.5	12.5	12.0	9.5	10.5	10.5	9.5	10.0	10.0	9.5	9.0	9.0	9.0
	110 mph	13.5	11.5	9.0	12.5	11.5	9.0	10.5	10.5	9.0	10.0	10.0	9.0	9.0	9.0	9.0
	120 mph	13.5	10.5	8.5	12.5	10.5	8.5	10.5	10.5	8.5	10.0	10.0	8.5	9.0	9.0	8.5
	130 mph	13.5	9.5	7.5	12.5	9.5	7.5	10.5	9.5	7.5	10.0	9.5	7.5	9.0	9.0	7.5
	140 mph	12.5	9.0	7.0	12.5	9.0	7.0	10.5	9.0	7.0	10.0	9.0	7.0	9.0	9.0	7.0
Category C	150 mph	11.5	8.5	6.5	11.5	8.5	6.5	9.5	9.5	6.5	10.0	8.5	6.5	9.0	8.5	6.5
	90 mph	13.5	11.0	8.5	12.5	11.0	8.5	10.5	10.5	10.5	10.0	10.0	8.5	9.0	9.0	8.5
	100 mph	13.5	9.5	8.0	12.5	9.5	8.0	10.5	9.5	8.0	10.0	9.5	8.0	9.0	9.0	8.0
	110 mph	13.0	9.5	7.5	12.5	9.5	7.5	10.5	9.5	7.5	10.0	9.5	7.5	9.0	9.0	7.5
	120 mph	12.0	8.5	7.0	12.0	8.5	7.0	10.5	8.5	7.0	10.0	8.5	7.0	9.0	8.5	7.0
	130 mph	11.0	8.0	6.5	11.0	8.0	6.5	10.5	8.0	6.5	9.5	8.0	6.5	9.0	8.0	6.5
140 mph	10.0	7.5	6.0	10.0	7.5	6.0	10.0	7.5	6.0	9.5	7.5	6.0	8.5	7.5	6.0	
150 mph	9.5	7.0	5.5	9.5	7.0	5.5	9.5	7.0	5.5	9.0	7.0	5.5	8.5	7.0	5.5	



ROOF SECTION:

NTS



ATTACHMENT DETAIL:

NTS



SOLAR PANEL
INSTALLATION
STEWART
RESIDENCE
394 LINCOLN AVE.
LOCKPORT, NY
14094 - USA

REVISIONS NOTES

DWG. BY:	MEM	SCALE:	AS-NOTED
CHECKED BY:	MEM	PROJECT #:	ES-4524-26
DATE:	JANUARY 22, 2026	SBL #:	123.10-2-66
MUNICIPALITY:	CITY OF LOCKPORT	COUNTY:	NIAGARA

SYSTEM NOTES:

TOTAL SYSTEM SIZE:
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PANEL TYPE: REC 460W
OF PANELS: 27
INVERTER TYPE: TESLA (POWER WALL 3)
OF INVERTERS: 1
ARRAY
AZIMUTH: #1 182 #2 92 #3 182 #4 272
TILT: 19 19 19 19
#PANELS: 7 8 3 9

PROFESSIONAL NOTES:

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SEAL & SIGNATURE



DWG#

S-3
SOLAR
PANEL
ATTACHMENT
PLAN I

DWG.
3 OF 4

CERTIFICATION NOTES:

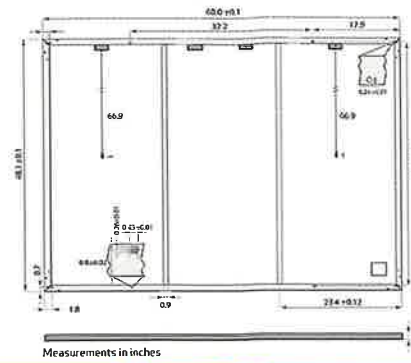
1. THE ROOF STRUCTURAL MEMBERS HAVE BEEN CHECKED FOR 120 MPH WIND LOADS BASED ON ASCE7-16 AND FOR COMPLIANCE WITH THE 2025 RESIDENTIAL CODE OF NEW YORK STATE. THERE WAS (1) LAYER OF ROOF SHINGLES INSTALLED AT THE TIME OF THE INSPECTION. THIS PLAN DOES NOT APPLY IF ANY ADDITIONAL ROOF SHINGLES LAYERS ARE INSTALLED AFTER THE SITE INSPECTION. INSTALLATION OF SOLAR PANELS WITH MORE THAN (1) LAYERS OF ROOF SHINGLES IS NEVER PERMITTED.
2. THE MOUNTING BRACKETS & HARDWARE MEET OR EXCEED ASCE 7-16 AND 2025 RESIDENTIAL CODE OF NEW YORK STATE, WITH 120 MPH WIND DESIGN. THE SYSTEM'S ATTACHMENT TO THE ROOF TO MEET OR EXCEED 2025 RESIDENTIAL CODE OF NEW YORK STATE.
3. ANY PLUMBING VENTS THROUGH THE ROOF ARE NOT TO BE CUT OR COVERED DURING PANEL INSTALLATION. ANY MODIFICATION OR RELOCATION OF VENTS WILL REQUIRED A PLUMBING PERMIT AND INSPECTIONS.
4. SIZES OF MEMBERS THAT WERE NOT ACCESSIBLE FOR DIRECT MEASUREMENT ARE BASED ON OBSERVATIONS OF ACCESSIBLE MEMBERS OR CONSTRUCTION DEPTH OR BOTH AND OUR KNOWLEDGE OF STANDARD CONSTRUCTION PRACTICES AT THE TIME OF CONSTRUCTION.
5. THE EXISTING ROOF AND BUILDING STRUCTURE CAN SAFELY SUSTAIN, AND DISTRIBUTE TO THE GROUND, THE ADDITIONAL LOADS IMPOSED BY THE PROPOSED WORK IN ADDITION TO ALL OTHER GRAVITY AND LATERAL LOADS AS REQUIRED BY 2025 RESIDENTIAL CODE OF NEW YORK STATE.

REC ALPHA PURE-RX SERIES PRODUCT SPECIFICATIONS



GENERAL DATA

Cell type:	66 half-cut bifacial REC heterojunction cells with lead-free, gapless technology
Glass:	0.12 in solar glass with anti-reflective surface treatment in accordance with EN 12150
Backsheet:	Highly resistant polymer
Frame:	Anodized aluminum (black)
Junction box:	4-part, 4 bypass diodes, lead-free IP68 rated, in accordance with IEC 62790
Connectors:	Stäubli MC4 PV-KBT4/KST4 (12 AWG) in accordance with IEC 62852, IP68 only when connected
Cable:	12 AWG solar cable, 66.9 + 66.9 in in accordance with EN 50618
Dimensions:	68.0 x 48.1 x 1.2 in (22.4 sq-ft)
Weight:	6.6 lb
Origin:	Made in Singapore



ELECTRICAL DATA

	Product Code: RECxxxAA Pure-RX		
Power Output - P _{max} (Wp)	450	460	470
Watt Class Sorting - (W)	0/+10	0/+10	0/+10
Nominal Power Voltage - V _{MPP} (V)	54.3	54.9	55.4
Nominal Power Current - I _{MPP} (A)	8.29	8.38	8.49
Open Circuit Voltage - V _{OC} (V)	65.1	65.3	65.6
Short Circuit Current - I _{SC} (A)	8.81	8.88	8.95
Power Density (W/sq-ft)	20.1	20.5	21.0
Panel Efficiency (%)	21.6	22.1	22.6
Power Output - P _{max} (Wp)	343	350	358
Nominal Power Voltage - V _{MPP} (V)	51.2	51.7	52.2
Nominal Power Current - I _{MPP} (A)	6.70	6.77	6.86
Open Circuit Voltage - V _{OC} (V)	61.3	61.6	61.8
Short Circuit Current - I _{SC} (A)	7.11	7.17	7.23

CERTIFICATIONS

IEC 61215:2021, IEC 61730:2016, UL 61730
IEC 62804
IEC 61701
IEC 62716
ISO 11925-2
IEC 62782
IEC 61215-2:2016
IEC 62321
UL 61730
ISO 14001, ISO 9001, IEC 45001, IEC 62941



Declare.

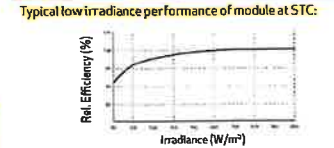
TEMPERATURE RATINGS*

Nominal Module Operating Temperature:	44°C (±2°C)
Temperature coefficient of P _{max} :	-0.24 %/K
Temperature coefficient of V _{OC} :	-0.24 %/K
Temperature coefficient of I _{SC} :	0.04 %/K

DELIVERY INFORMATION

Panels per pallet:	33
Panels per 40 ft GP/high cube container:	594 (18 pallets)
Panels per 53 ft truck:	792 (24 pallets)

LOW LIGHT BEHAVIOUR



Values at standard test conditions (STC: air mass AM 1.5, irradiance 1000 W/m², temperature 77°F (25°C), based on a production spread with a tolerance of P_{max}, V_{OC} & I_{SC} ±3% within one watt class. Nominal module operating temperature (NMOT: air mass AM 1.5, irradiance 800 W/m², temperature 68°F (20°C), wind speed 3.3 ft/s (1 m/s)). * Where xxx indicates the nominal power class (P_{max}) at STC above.

MAXIMUM RATINGS

Operational temperature:	-40 ~ -185°F
System voltage:	1000 V
Test load (front):	+7000 Pa (146.2 lbs/sq-ft)
Test load (rear):	-4000 Pa (83.5 lbs/sq-ft)
Series fuse rating:	25 A
Reverse current:	25 A

WARRANTY

	Standard	REC ProTrust
Installed by an REC Certified Solar Professional	No	Yes
System Size	All	<25 kW 25-500 kW
Product Warranty (yrs)	20	25
Power Warranty (yrs)	25	25
Labor Warranty (yrs)	0	25
Power in Year 1	98%	98%
Annual Degradation	0.25%	0.25%
Power in Year 25	92%	92%

Available from:

Founded in 1996, REC Group is an international pioneering solar energy company dedicated to empowering consumers with clean, affordable solar power. As Solar's Most Trusted, REC is committed to high quality, innovation, and a low carbon footprint in the solar materials and solar panels it manufactures. Headquartered in Norway with operational headquarters in Singapore, REC also has regional hubs in North America, Europe, and Asia-Pacific.

REC Solar PTE. LTD.
20 Tuas South Ave. 14
Singapore 637312
post@recgroup.com

Powerwall 3 Technical Specifications

System Technical Specifications

Model Number	1707000-xx-y			
Nominal Grid Voltage (Input & Output)	120/240 VAC			
Grid Type	Split phase			
Frequency	60 Hz			
Nominal Battery Energy	13.5 kWh AC ¹			
Nominal Output Power (AC)	5.8 kW	7.6 kW	10 kW	11.5 kW
Maximum Apparent Power	5,800 VA	7,600 VA	10,000 VA	11,500 VA
Maximum Continuous Current	24 A	31.7 A	41.7 A	48 A
Overcurrent Protection Device ²	30 A	40 A	60 A	60 A
Configurable Maximum Continuous Discharge Power Off-Grid (PV Only, -20°C to 25°C)	15.4 kW ³			
Maximum Continuous Charge Current / Power (Powerwall 3 only)	20.8 A AC / 5 kW			
Maximum Continuous Charge Current / Power (Powerwall 3 with up to (3) Expansion units)	33.3 A AC / 8 kW			
Output Power Factor Rating	0 - 1 (Grid Code configurable)			
Maximum Output Fault Current (1 s)	160 A			
Maximum Short-Circuit Current Rating	10 kA			
Load Start Capability	185 LRA			
Solar to Battery to Home/Grid Efficiency	89% ⁴			
Solar to Home/Grid Efficiency	97.5% ⁵			
Power Scalability	Up to 4 Powerwall 3 units supported			
Energy Scalability	Up to 3 Expansion units (for a maximum total of 7 units)			
Supported Islanding Devices	Gateway 3, Backup Switch, Backup Gateway 2			
Connectivity	Wi-Fi (2.4 and 5 GHz), Ethernet, Cellular (LTE/4G ⁶)			
Hardware Interface	Dry contact relay, Rapid Shutdown (RSD) certified switch and 2-pin connector, RS-485 for meters			
AC Metering	Revenue Grade (+/- 0.5%, ANSI C12.20)			
Protections	Integrated arc fault circuit interrupter (AFCI), Isolation Monitor Interrupter (IMI), PV Rapid Shutdown (RSD) using Tesla Mid-Circuit Interrupters			
Customer Interface	Tesla Mobile App			
Warranty	10 years			

¹Values provided for 25°C (77°F), at beginning of life. 3.3 kW charge/discharge power.
²See Powerwall 3 Installation Manual for fuse requirements if using fuse for overcurrent protection.
³15.4kW off-grid maximum continuous discharge power is only available if on-grid rating is 11.5 kW. If enabled, Powerwall 3 must be installed with an 80 A breaker and appropriately sized conductors.
⁴Typical solar shifting use case.
⁵Tested using CEC weighted efficiency methodology.
⁶The customer is expected to provide internet connectivity for Powerwall 3; cellular should not be used as the primary mode of connectivity. Cellular connectivity subject to network operator service coverage and signal strength.



SOLAR PANEL
INSTALLATION
STEWART
RESIDENCE
394 LINCOLN AVE.
LOCKPORT, NY
14094 - USA

REVISIONS NOTES	
DWG. BY:	MEM
CHECKED BY:	MEM
DATE:	JANUARY 22, 2026
MUNICIPALITY:	CITY OF LOCKPORT
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PROJECT #:	ES-4524-26
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COUNTY:	NIAGARA

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PANEL TYPE:	REC 460W
OF PANELS:	27
INVERTER TYPE:	TESLA (POWER WALL 3)
OF INVERTERS:	1
ARRAY	#1 #2 #3 #4
AZIMUTH:	182 92 182 272
TILT:	19 19 19 19
#PANELS:	7 8 3 9

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DWG#
S-4
SOLAR
PANEL &
INVERTER
SPECIFICATIONS
DWG.
4 OF 4

INVERTER SPECIFICATIONS	
MANUFACTURER / MODEL #	TESLA POWERWALL 3 [1707000-11-Y] [240V]
POWER RATING	11500W
MAX CONT. OUTPUT CURRENT	48A
MAX CURRENT PER MPPT (IMP)	15A
MAX DC VOLTAGE	600V
MAX SHORT CIRCUIT CURRENT PER MPPT (ISC)	19A

SOLAR MODULE SPECIFICATIONS	
MANUFACTURER / MODEL #	REC SOLAR REC460AA PURE-RX (460W)
VMP	54.9 V
IMP	8.38 A
VOC	65.8 V
ISC	8.88 A
TEMP. COEFF. VOC	-0.24 %/°K

AMBIENT TEMPERATURE SPECIFICATIONS	
RECORD LOW TEMP	-20°C
AMBIENT TEMP (HIGH TEMP 2% AVG.)	30°C
MINIMUM CONDUIT HEIGHT ABOVE ROOF SURFACE	7/8"

CONTRACTOR



EMPIRE SOLAR SOLUTIONS
 2-8 JOHNES ST
 NEWBURGH, NY 12550
 PHONE - (845) 728-2165
 LIC. NO. - WC-29806-H17

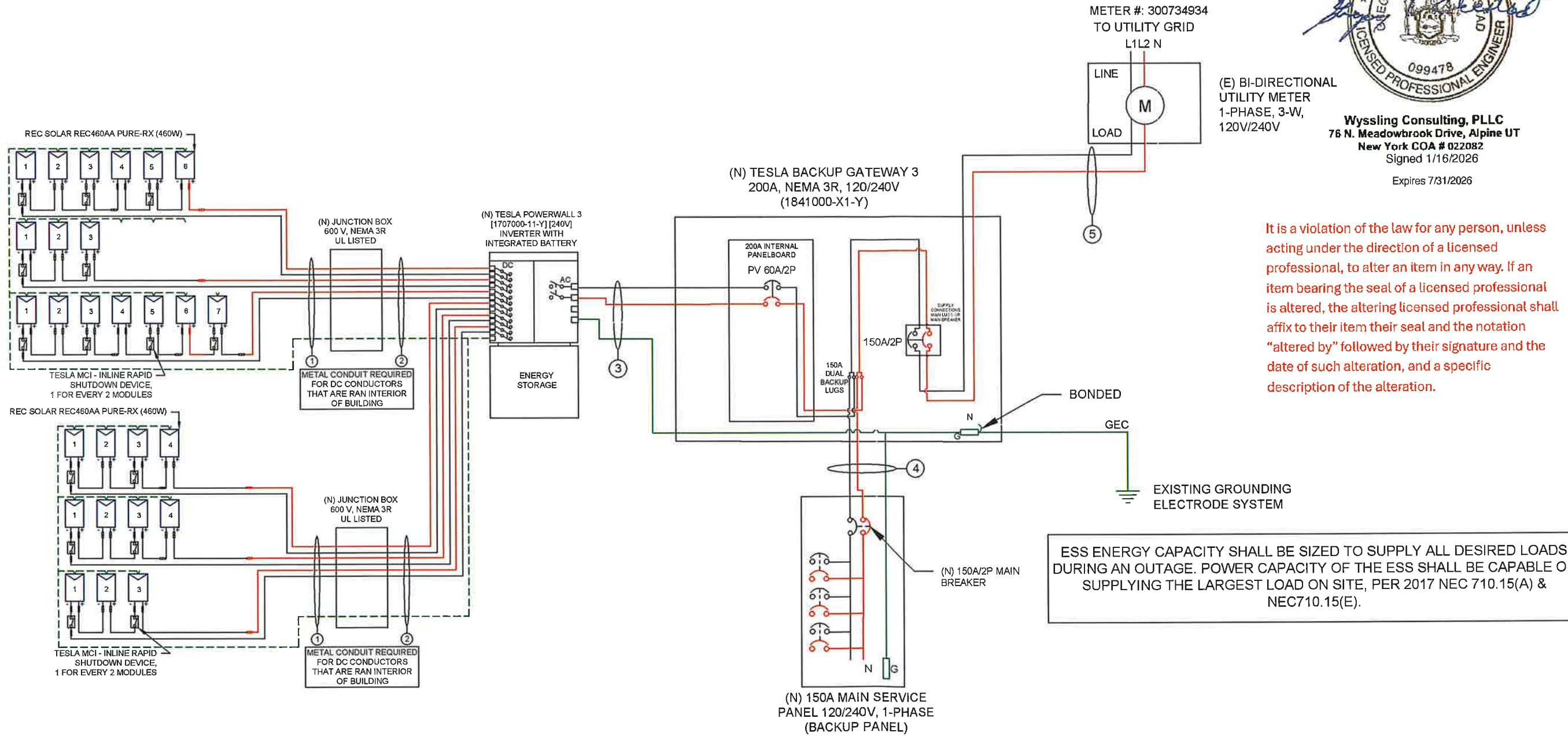
ELECTRICAL ONLY



Wyssling Consulting, PLLC
 76 N. Meadowbrook Drive, Alpine UT
 New York COA # 022082
 Signed 1/16/2026
 Expires 7/31/2026

(E) BI-DIRECTIONAL UTILITY METER
 1-PHASE, 3-W,
 120V/240V

It is a violation of the law for any person, unless acting under the direction of a licensed professional, to alter an item in any way. If an item bearing the seal of a licensed professional is altered, the altering licensed professional shall affix to their item their seal and the notation "altered by" followed by their signature and the date of such alteration, and a specific description of the alteration.



ESS ENERGY CAPACITY SHALL BE SIZED TO SUPPLY ALL DESIRED LOADS DURING AN OUTAGE. POWER CAPACITY OF THE ESS SHALL BE CAPABLE OF SUPPLYING THE LARGEST LOAD ON SITE, PER 2017 NEC 710.15(A) & NEC710.15(E).

PROJECT NAME & ADDRESS
 SUSAN STEWART
 394 LINCOLN AVE,
 LOCKPORT, NY 14094

APN #: 29090012310266
 AHJ: CITY OF LOCKPORT
 UTILITY: NEW YORK STATE
 ELECTRIC & GAS

SYSTEM DETAILS
 12.42 KW DC-(STC) / 11.50 KW AC
 (27) REC SOLAR REC460AA PURE-RX (460W)
 (15) TESLA MCI-2 - INLINE RSD
 (1) TESLA POWERWALL 3 [1707000-11-Y] [240V]
 INVERTER WITH INTEGRATED BATTERY
 (1) TESLA BACKUP GATEWAY 3 (1841000-X1-Y)
 BATTERY SIZE: 13.5 KWH

REVISIONS

REV	DESCRIPTION	DATE

SHEET TITLE
THREE LINE
DIAGRAM

DRAWN DATE 1/16/2026
 DRAWN BY OMK

SHEET NUMBER

PV-01

DESCRIPTION	FORMULA	RESULT
PV + ESS OVERCURRENT PROTECTION NEC 690.9(B)	TOTAL INVERTER + ESS OUTPUT CURRENT x 1.25 = (48)A x 1.25	60A (SELECTED OCP RATING = 150A)

DC WIRE CALCULATION												
WIRE ID	EXPECTED WIRE TEMP (°C)	TEMP DERATE (90 °C)	QTY OF CURRENT CARRYING CONDUCTORS	CONDUIT FILL DERATE	MINIMUM CONDUIT SIZE (TBD ON SITE)	WIRE GAUGE & TYPE	CONDUCTOR AMPACITY @ 90°C (A)	CONDUCTOR AMPACITY @ 75°C (A)	REQUIRED CIRCUIT CONDUCTOR AMPACITY (A)	ADJUSTED CONDUCTOR AMPACITY @ 90 °C (A)	NEUTRAL CONDUCTOR SIZE & TYPE	GROUND WIRE SIZE & TYPE
1	30	1	6	IN AIR	N/A	#10 AWG PV WIRE	40	35	13.85	40	NONE	#6 AWG BARE Cu
2	30	1	6	0.8	3/4" METAL	#10 THWN-2	40	35	13.85	32	NONE	#10 THWN-2
AC WIRE CALCULATION												
3	30	1	2	1	3/4" METAL	#6 THWN-2	75	65	60	75	#6 THWN-2	#10 THWN-2
4	30	1	2	1	1-1/4" METAL	#1/0 THWN-2	175	150	150	175	#1/0 THWN-2	#6 THWN-2
5	30	1	2	1	1-1/4" METAL	#1/0 THWN-2	175	150	150	175	#1/0 THWN-2	NONE



Building Inspection Department

Jason Dool
Chief Building Inspector

Lockport Municipal Building
One Locks Plaza
Lockport, NY 14094
Phone (716) 439-6759
Fax (716) 439-6605

NOTICE OF PUBLIC HEARING

Case No. 2376

May 11, 2026

Megan Brewer

Dear Sir or Madam:

An Appeal under the Zoning Ordinance as applied to the property at 598 & 600 West Avenue, Lockport, New York, had been filed by Hurren Properties, LLC.

The request is for a variance to combine 598 and 600 West Avenue and subdivide the southerly 156.14 x 624' section situated in a General Industrial Zone.

Approval of the permit application was denied or withheld because impervious area on the original lot will increase to 100%.

The City of Lockport Zoning Ordinance allows a maximum 50% impervious area in a General Industrial Zone.

A Public Hearing will be held by the Zoning Board of Appeals on **Tuesday, May 26, 2026 at 5:00 P.M.**, at the Lockport Municipal Building, One Locks Plaza, Lockport, New York, at which time you may appear, if you so desire, either in person or by agent or attorney.

The purpose of this Hearing is to give all affected property owners an opportunity to support or oppose the granting of this Appeal.

Supporting documentation for this case may be found on the City of Lockport website lockportny.gov.

LOCKPORT ZONING BOARD OF APPEALS
Megan Brewer

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BRIEF HISTORY OF PROPERTY (historic use of property, ownership history, etc.)

Property is zoned as Auto Dealer / I3
Huron Properties, LLC purchased 598 and 600 West Avenue
on January 27, 2026.

DESCRIPTION OF PROPOSED ACTION (include specific use proposed, hours, # of employees, etc.)

APPLICANT WISHES TO EXCEED IMPERVIOUS ALLOWANCE OF 50%
Property owner wishes to sell the southern portion of 598 West
Avenue, PARCEL IS 2.2 acres or 156.14' x 6241. PORTION
BEING SOLD IS VACANT SCRUB LAND SO IT DOES NOT NEED VARIANCE.
VARIANCE IS NEEDED FOR REMAINING PORTION APPLICANT WILL RETAIN
AT 598/600 WEST AVE CONTAINS 56,629 sq. feet. GREEN SPACE
OF THE REMAINING LOT WOULD EQUATE TO 18,179.380 (32% WHICH IS LESS
THAN THE 50% PER CODE.

VARIANCE STANDARDS (USE VARIANCE)

Applications for use variances must be based on alleviating a clearly demonstrable hardship, as opposed to a special privilege of convenience sought by the owner. Furthermore, the hardship must be peculiar to the land or building and must not generally apply to land throughout the neighborhood. An example of a property that may potentially have a case for a used variance is a corner store in a predominantly residential neighborhood. If the building has large plate glass windows, a parking lot and loading docks in the rear, it would be extremely costly to convert the building to residential uses to comply with existing zoning regulations.

VARIANCE STANDARDS (AREA VARIANCE)

Applications for area variances must be based on some extraordinary topographic condition or other physical condition inherent in the parcel (for example: exceptional narrowness, shallowness, shape or area). This condition must prohibit or unreasonably restrict the use of the land and/or building. One example of special condition: A utility right-of-way cutting through the rear half of several properties within a larger neighborhood limiting the buildable area of those properties, thereby requiring variances for rear and side yard setbacks for those particular property owners to construct new garages or sheds.

DESCRIPTION OF HARDSHIP (describe the features or conditions of the property that restrict reasonable use of the property under current zoning regulations)

Property is zoned for auto dealer and the proposed transfer
of the vacant portion of property will remove the impediment
of having to maintain useless property for an auto dealership,
and will remove the burden of maintaining vacant land,
insuring and pay taxes on non-productive property.

Describe how the requested variance will not alter the character of the larger neighborhood or impact adjacent properties:

The requested variance will not alter the character of the
neighborhood as the land sold to the neighbor to the
south will remain vacant land.

APPLICATION ATTACHMENTS

To ensure appropriate and timely review of the application, please provide the following additional documentation in support of the application. Failure to provide all of the applicable materials listed below may result in a delay in scheduling the application for review by the Zoning Board of Appeals.

- \$150 application fee (cash or checks payable to the City of Lockport)
- Detailed site plan (10 copies)
- Photographs of existing conditions
- Property survey (10 copies)

APPLICANT/OWNER AFFIRMATION

I, THE UNDERSIGNED, DO HEREBY AFFIRM THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE AND I FURTHER UNDERSTAND THAT INTENTIONALLY PROVIDING FALSE OR MISLEADING INFORMATION IS GROUNDS FOR IMMEDIATE DENIAL OF MY APPLICATION.

FURTHERMORE, I UNDERSTAND THAT I (OR A DESIGNATED REPRESENTATIVE) MUST BE PRESENT AT THE MEETING TO REPRESENT THE APPLICATION AND RESOND TO ANY QUESTIONS FROM THE ZONING BOARD OF APPEALS MEMBERS.


Signature (Applicant)

5-4-26
Date

IF APPLICANT IS NOT THE OWNER OF RECORD FOR SUBJECT PARCEL:

I, THE UNDERSIGNED, HEREBY AFFIRM THAT I AM THE OWNER OF RECORD FOR THE SUBJECT PARCEL AT THE TIME OF APPLICATION. FURTHERMORE, I AM FAMILIAR WITH THE REQUEST BY THE APPLICANT AND AUTHORIZE SAID APPLICANT TO REPRESENT THE INTEREST OF THE OWNER (S) IN FURTHERANCE OF THE REQUEST.

Signature (Owner)

Date

Regular meetings of the Zoning Board of Appeals are generally held on the 4th Tuesday of every month. The meetings are held at 5:00 P.M. in the Common Council chambers on the first floor of City Hall. Applicants will receive a reminder notice in the mail prior to the meeting.

Pursuant to Section §190-188(d) of the City of Lockport Zoning Ordinance, property owners within a 200' radius will be notified of the intent of the applicant and given an opportunity to speak for or against the application.



Niagara County Planning Board

General Municipal Law §239-M Referral Form

Niagara County Use Only:

Date Received: _____

Referral #: _____

Part 1: Municipal Information

Referring Municipality: City of Lockport

Referring Agency: City of Lockport

Referring Official: Jason Deal

Title: Chief Bldg Insp.

Referring Official Signature: [Signature]

Address: 1 Locks Plaza

Email: mbrewar@lockportny.gov

Phone #: 716 439 6254

Fax #: _____

Applicant Name: Hurven Properties, LLC

Email: _____

Phone #: _____

Part 2: Project Information

Address of Property: 598/600 West Avenue

Acreage: 3.44 acres (combined)

Tax Parcel Number(s): 108.19-1-26
108.19-1-27

Current Zoning District: X3 G7

Project Description

Previous/Future Meeting Information (REQUIRED)

Date

Reviewing Body

5/26

ZBA

6/1

Planning Bd.

Part 3: Referral Type and Proximity Trigger

Referral Type (Check all that apply):

- Area Variance
- Zoning Text Amendment
- Use Variance
- Zoning Map Amendment
- Special Permit
- New Zoning Ordinance
- Site Plan Review
- Comprehensive Plan
- New Local Law
- Local Law Amendment
- Moratorium
- Other _____

Property located within 500 ft. of

(Check all that apply):

- Existing or Proposed County / State Parkway, Road or Highway, or County Owned Drainage Channel
- County Road: _____
- NYS Road: _____
- Municipal Boundary
- NYS / County Recreation Area
- NYS / County Owned Land with Public Building
- Farm operation located in an Agricultural District (except for area variances)

Part 4: Required Enclosures

The Niagara County Planning Board requires adequate information upon which to make its decision. The zoning referral form will not be accepted unless all of the following information as applicable is submitted (Please check that all items are included):

- Planning Board Referral Form
- SEQR Environmental Assessment Form (EAF)
- One set of plans sized at 8.5" x 11" or 11" x 17" (if applicable).
- For variances, a copy of the code from which the relief is being requested.
- For zoning text amendments and local law amendments, copies of both the existing and proposed zoning / local law.
- Copies of any local meeting minutes.
- Any other documentation submitted to the municipality as part of the application process.

Part 5: Representative Contact Information

A project representative must attend the Niagara County Planning Board meeting.
Meeting information will be sent to the project representative via the email address provided in this section.

Project Representative Contact Information

Name: *Gregory A. Pope, Esq.*

Title:

Email: *pope@lawonly.com*

Phone #: *(716) 634-3320*

DEADLINE

All completed referrals must be received by close of business on Friday, six business days preceding the 3rd Monday of each month. Note: January and February meetings are held on the 4th Monday of the month.

LATE REFERRALS WILL BE REVIEWED BY THE NIAGARA COUNTY PLANNING BOARD THE FOLLOWING MONTH.

For County Office Use Only

Recommendation from Niagara County Planning Board

<input type="checkbox"/> Approval	<input type="checkbox"/> No Significant Countywide or Inter-community Impact
<input type="checkbox"/> Approval with Modifications	<input type="checkbox"/> Disapproval

Joseph Kibler, Chairman
Niagara County Planning Board

Date



Building Inspection Department

Jason Dool
Chief Building Inspector

Lockport Municipal Building
One Locks Plaza
Lockport, NY 14094
Phone (716) 439-6759
Fax (716) 439-6605

NOTICE OF PUBLIC HEARING

Case No. 2377

May 11, 2026

Megan Brewer

Dear Sir or Madam:

An Appeal under the Zoning Ordinance as applied to the property at 221 Lincoln Avenue, Lockport, New York, had been filed by Caren Higgins.

The request is for a variance to erect a 6' wooden fence on the west property line situated in a Low Density Residential Zone.

Approval of the permit application was denied or withheld because the solid fence will exceed 3' in height.

The City of Lockport Zoning Ordinance prohibits closed fences to be higher than 3' within a front yard area.

A Public Hearing will be held by the Zoning Board of Appeals on **Tuesday, May 26, 2026 at 5:00 P.M.**, at the Lockport Municipal Building, One Locks Plaza, Lockport, New York, at which time you may appear, if you so desire, either in person or by agent or attorney.

The purpose of this Hearing is to give all affected property owners an opportunity to support or oppose the granting of this Appeal.

Supporting documentation for this case may be found on the City of Lockport website lockportny.gov.

LOCKPORT ZONING BOARD OF APPEALS
Megan Brewer

**CITY OF LOCKPORT, NEW YORK
ZONING BOARD OF APPEALS APPLICATION**

AREA VARIANCE

USE VARIANCE

It is the responsibility of the applicant to complete this form in its entirety, including all required attachments, and as precisely as possible. Failure to submit a complete application may result in a delay in being placed on a Zoning Board of Appeals agenda or a delayed decision from the Zoning Board.

PROPERTY ADDRESS: 221 Lincoln Avenue, Lockport, NY 14094

APPLICANT INFORMATION

NAME: Caren Higgins ADDRESS: 221 Lincoln Ave.

PHONE: [REDACTED] Lockport, NY 14094
CITY STATE ZIP

FAX: _____ E-MAIL: [REDACTED]

OWNER INFORMATION

NAME: Joseph Qualiana ADDRESS: 223 Lincoln Ave.

PHONE: [REDACTED] Lockport, NY 14094
CITY STATE ZIP

FAX: _____ E-MAIL: [REDACTED]

RELATIONSHIP OF APPLICANT TO PROPERTY:

CONTRACT PURCHASER CONTRACTOR OTHER

ARCHITECT/ENGINEER LESSEE

OFFICE USE ONLY

RECEIVED BY: _____ DATE/TIME RECEIVED: _____

FEE AMOUNT: _____ CHECK/MONEY ORDER#: _____

ZONING: _____ FEE TRANSMITTAL DATE: _____

AGENDA DATE: _____ DEADLINE DATE: _____

COUNTY TAX MAP IDENTIFICATION NUMBER: _____

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

BRIEF HISTORY OF PROPERTY (historic use of property, ownership history, etc.)

The house was purchased in 2009 by Joseph Qualiana and is under the same ownership. The aesthetic of the house has been improved over time.

DESCRIPTION OF PROPOSED ACTION (include specific use proposed, hours, # of employees, etc.)

We would like to build a 6 ft. privacy fence along the west side of our backyard which is currently exposed to the street. There is an existing fence at the back of the yard that we would like the new fence to meet. This would not cause any new obstruction to the view of the road or people vehicles entering and exiting driveways. There would be clear visibility of the driveways.

VARIANCE STANDARDS (USE VARIANCE)

Applications for use variances must be based on alleviating a clearly demonstrable hardship, as opposed to a special privilege of convenience sought by the owner. Furthermore, the hardship must be peculiar to the land or building and must not generally apply to land throughout the neighborhood. An example of a property that may potentially have a case for a used variance is a corner store in a predominantly residential neighborhood. If the building has large plate glass windows, a parking lot and loading docks in the rear, it would be extremely costly to convert the building to residential uses to comply with existing zoning regulations.

VARIANCE STANDARDS (AREA VARIANCE)

Applications for area variances must be based on some extraordinary topographic condition or other physical condition inherent in the parcel (for example: exceptional narrowness, shallowness, shape or area). This condition must prohibit or unreasonably restrict the use of the land and/or building. One example of special condition: A utility right-of-way cutting through the rear half of several properties within a larger neighborhood limiting the buildable area of those properties, thereby requiring variances for rear and side yard setbacks for those particular property owners to construct new garages or sheds.

DESCRIPTION OF HARDSHIP (describe the features or conditions of the property that restrict reasonable use of the property under current zoning regulations)

We would like to build a privacy fence and have it meet the existing fence at the back of the yard. It would not provide any new obstruction to drivers' visibility including road drivers and persons entering and exiting their driveways. Additionally, it would look better and increase the percentage of backyard space for three young children and a large dog. The dog (165 pounds) would be able to jump over a 3 ft fence. A 3 ft. fence would also not provide privacy from the traffic and students entering and exiting

Describe how the requested variance will not alter the character of the larger neighborhood or impact adjacent properties:

The proposed 6 ft privacy fence will add no new visual obstructions and all driveways (including 221 Lincoln as well as any driveways currently visible on Berkley) will remain easily seen with no reduction in visibility.

the high school. There is a high volume of traffic during the school year

Particularly during drop-off and pick-up times.

APPLICATION ATTACHMENTS

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- ___ Detailed site plan (10 copies)
- ___ Photographs of existing conditions
- ___ Property survey (10 copies)

APPLICANT/OWNER AFFIRMATION

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FURTHERMORE, I UNDERSTAND THAT I (OR A DESIGNATED REPRESENTATIVE) MUST BE PRESENT AT THE MEETING TO REPRESENT THE APPLICATION AND RESPOND TO ANY QUESTIONS FROM THE ZONING BOARD OF APPEALS MEMBERS.

Cavan Higgins
Signature (Applicant)

5/6/2024
Date

IF APPLICANT IS NOT THE OWNER OF RECORD FOR SUBJECT PARCEL:

I, THE UNDERSIGNED, HEREBY AFFIRM THAT I AM THE OWNER OF RECORD FOR THE SUBJECT PARCEL AT THE TIME OF APPLICATION. FURTHERMORE, I AM FAMILIAR WITH THE REQUEST BY THE APPLICANT AND AUTHORIZE SAID APPLICANT TO REPRESENT THE INTEREST OF THE OWNER (S) IN FURTHERANCE OF THE REQUEST.

Joseph Zaluska
Signature (Owner)

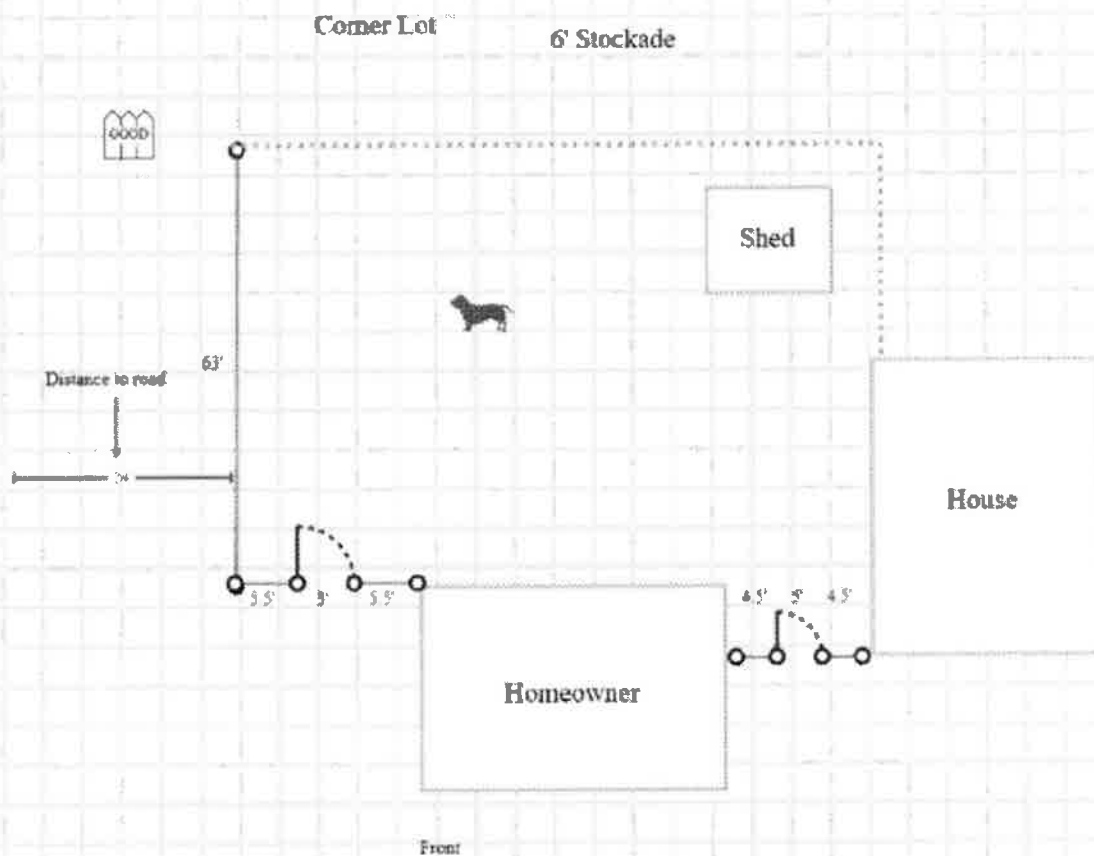
5/6/26
Date

Regular meetings of the Zoning Board of Appeals are generally held on the 4th Tuesday of every month. The meetings are held at 5:00 P.M. in the Common Council chambers on the first floor of City Hall. Applicants will receive a reminder notice in the mail prior to the meeting.

Pursuant to Section §190-188(d) of the City of Lockport Zoning Ordinance, property owners within a 200' radius will be notified of the intent of the applicant and given an opportunity to speak for or against the application.

6' Stockade Partial - 83 LF

■ 6'H Stockade

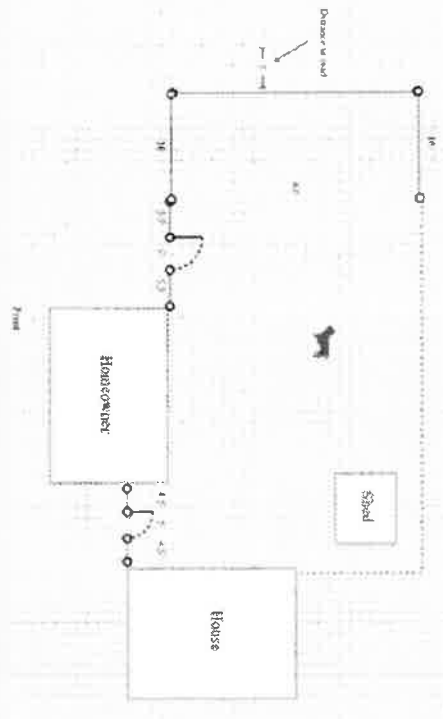


FENCE FOOTAGE CONTAINED IN THIS PROPOSAL IS APPROXIMATE BASED ON THE FIELD MEASUREMENTS, FINAL PRICE WILL BE ADJUSTED BASED ON ACTUAL FOOTAGE USED, AS SET FORTH IN THE TERMS AND CONDITIONS.

Included in the job

4' Stockade Whole Yard

Contract Lot: Stockade



Package Name: Clone Add Package

#1 4' Stockade Whole Yard Add Package

#2 6' Stockade Partial Add Package

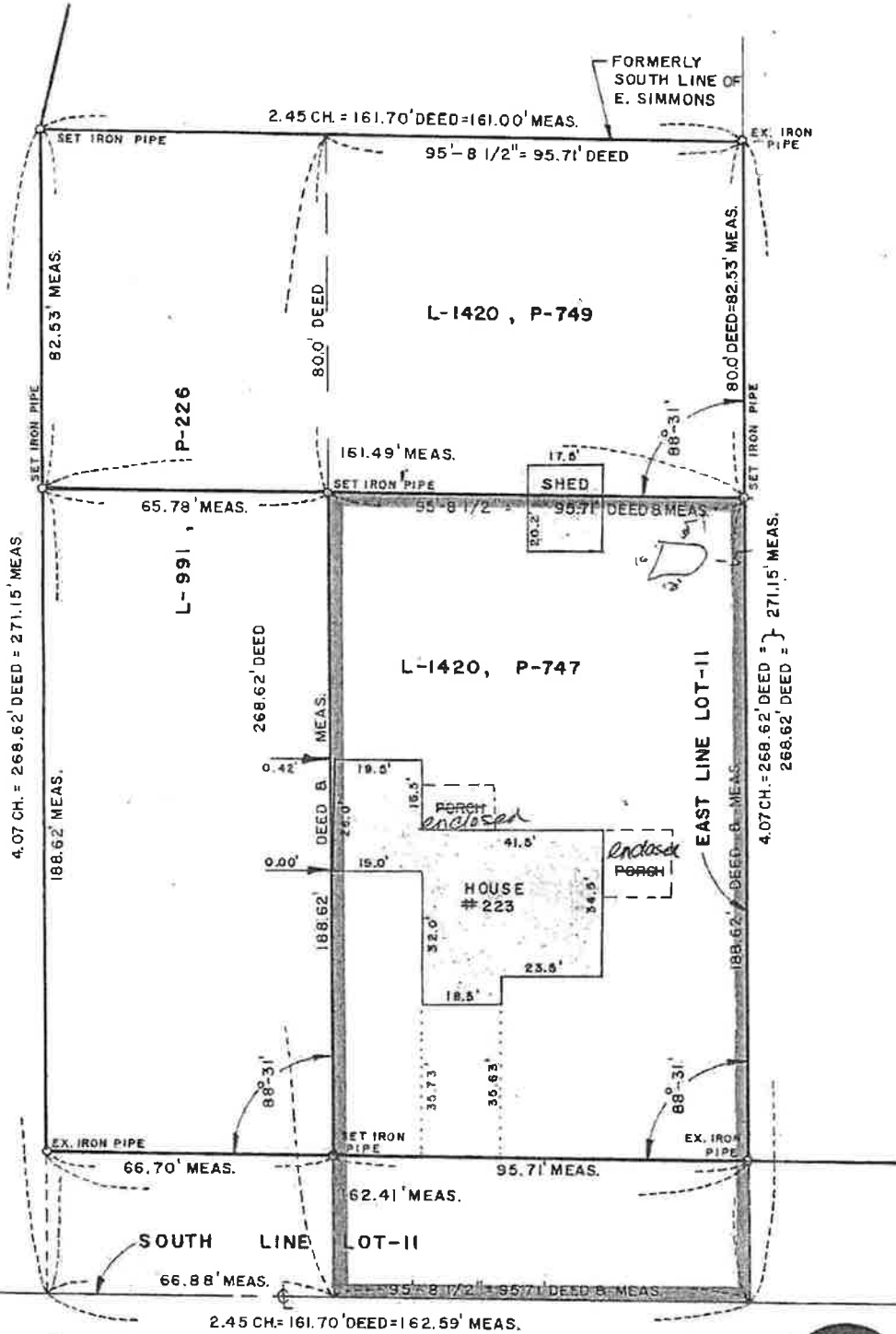
4' Stockade 116 LF

- Segment 1 - 65' S
- Segment 2 - 16' S
- Segment 3 - 16' S
- Segment 4 - 16' S
- Segment 5 - 16'

Estimate Summary

Present Proposal

BERKLEY DRIVE (66.0' WIDE)



LINCOLN AVENUE (66.0' WIDE)



DOUGLAS A. MCINTOSH, LAND SURVEYOR

SUCCESSOR TO JOHN E. MCINTOSH, LAND SURVEYOR

429 PINE ST., LOCKPORT, N. Y.
PHONE 433-2535

28 MILL ST., MT. MORRIS, N. Y.
PHONE 658-3321

14 MAIN ST., BATAVIA, N. Y.
PHONE 343-5654

SURVEY OF PART OF LOT-II, SEC-14, TWP-14, R-6 HOLLAND PURCHASE

LOCATION CITY OF LOCKPORT, NIAGARA COUNTY, NEW YORK

JOB No. 2081-A SCALE: 1" = 30' DATE: AUGUST 1, 1964